

**MANOR ALTERATIONS**

**QUICK REFERENCE**



# **CONTRACTOR TOWN HALL**

**PRESENTED BY  
MANOR ALTERATIONS  
AND  
THE CITY OF  
LAGUNA WOODS**

**ISSUED FEBRUARY 27, 2025**

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CONTRACTORS TOWNHALL  
THURSDAY, FEBRUARY 27<sup>th</sup>, 2025  
**MA QUICK REFERENCE GUIDE**  
HANDOUTS / FLYERS

MUTUAL CONSENTS

1. Mutual Consent Process Map
2. Mutual Consent Fee Schedule for United
3. Mutual Consent Fee Schedule for Third
4. United Architectural Standards Listing
5. Third Architectural Standards Listing
6. Third Mutual Consent Package SAMPLE

CONTRACTORS

7. 6 Tips Before Hiring a Contractor
8. COLI – Certificate of Liability Insurance
9. Contractor Requirements Flyer
10. Contractor Violation Policy

RESALES

11. Resale Inspection Process Map
12. 6 Tips to Expedite Resale Inspections
13. Resale Inspection Fee Schedule for United
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15. Your Mutual Fees at Work

FAQ

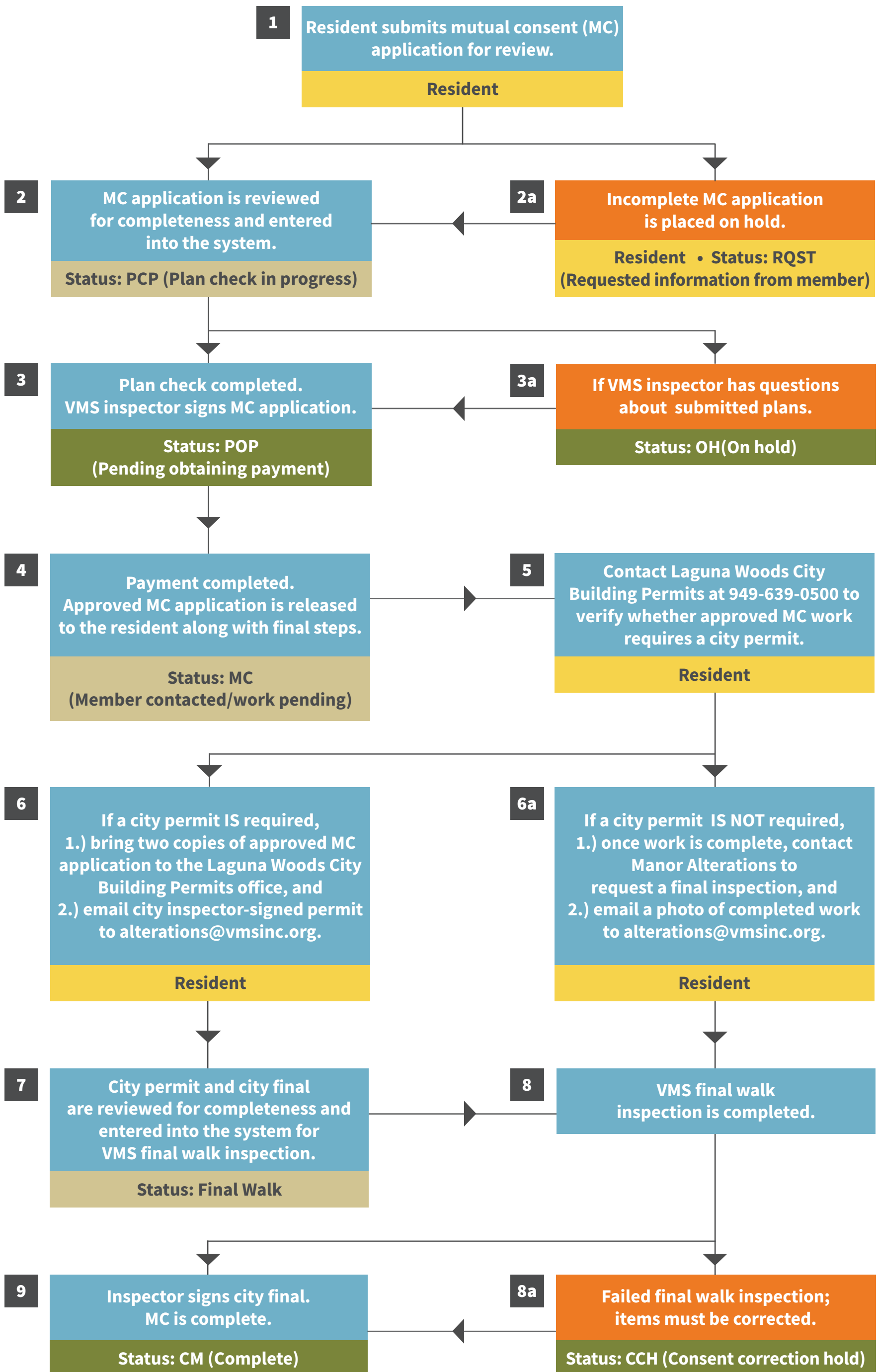
16. Frequently asked Questions

TOWNHALL PRESENTATION

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# MANOR ALTERATIONS MUTUAL CONSENT PROCESS MAP



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## Alteration Fee Schedule (Continued)

### Notes

- Per Resolution 01-23-60, future revisions to the Alteration Fee Schedule will be included with the Annual Assessment Letter Packet that the Finance Department issues every year in November under the Architectural Review Procedures section of the Annual Policy Statement.
- Some Alterations may require a Pre-Construction Mutual Consent. To confirm if your Alteration will require a Pre-Construction Mutual Consent, please contact Manor Alterations.
- Alteration Fees are paid via credit card upon approval of a completed Mutual Consent application. Manor Alterations will contact applicants directly upon approval to collect payment.
- The following fees, as appropriate to the nature of the work, apply to work completed without a Mutual Consent: Unauthorized alteration fee + Pre-Construction Mutual Consent fee + Mutual Consent fee + Variance fee (if applicable).
- Variance Processing Fees are in addition to any fees incurred via Mutual Consent processing.





## Alteration Fee Schedule (Continued)

### Notes

- Per Resolution 03-23-131, future revisions to the Alteration Fee Schedule will be included with the Annual Assessment Letter Packet that the Finance Department issues every year in November under the Architectural Review Procedures section of the Annual Policy Statement.
- The approval of variances for the use of common areas that extend beyond the original floorplan and that meet the requirements of Civil Code Section 4600, requires the execution and recordation of a Recordable Exclusive Use of Common Area Revocable License. The processing of agreements for all other approved variances, including exclusive use common area as recognized within the footprint of the property, will utilize a Counsel-prepared and approved boilerplate form at no additional charge to the member.
- Some Alterations may require a Pre-Construction Mutual Consent, which carries a \$50 fee. To confirm if your Alteration will require a Pre-Construction Mutual Consent, please contact Manor Alterations.
- Alteration Fees are paid via credit card upon approval of a completed Mutual Consent application. Manor Alterations will contact applicants directly upon approval to collect payment.
- The following fees, as appropriate to the nature of the work, apply to work completed without a Mutual Consent: Unauthorized alteration fee + Pre-Construction Mutual Consent fee + Mutual Consent fee + Variance fee (if applicable).
- Variance Processing Fees are in addition to any fees incurred via Mutual Consent processing.



## UNITED ARCHITECTURAL STANDARDS

Manor Alteration Requests will be reviewed for compliance with these Standards.

Standard 1	General Requirements for Architectural Standards
Standard 6	Air Conditioning Units Heat Pumps
Standard 7	Satellite Dishes
Standard 8	Patio Block Walls
Standard 10	Dishwasher
Standard 11	Doors; Exterior
Standard 13	Lifts and Lift Policy
Standard 14	Exhaust Fan/Vent Installations
Standard 15	Floor Coverings Exterior (Balconies and Patios)
Standard 16	Fences – Wrought Iron
Standard 17	Patio Gates and Courtyard Doors
Standard 18	Gutters and Downspouts
Standard 19	Modesty Paneling Balcony
Standard 20	Atrium Coverings
Standard 22	Patio Slabs, Walkways & Pavers
Standard 24	Skylight Installations
Standard 25	Tubular Skylight Installations
Standard 27	Soft Water
Standard 28	Storage Cabinets
Standard 29	Washer and Dryer Installations
Standard 30	Water Heater Relocation
Standard 31	Windows and Window Attachments
Standard 32	Windscreens Glass Panel (Revoked March 2007)
Standard 33	Planter Walls
Standard 34	Patio and Balcony Awnings
Standard 35	Solar Panels, One-Story Buildings and Buildings with Unshared Roof Space
Standard 36	Ramps
Standard 38	Hot Tubs (Exterior)
Standard 40	Roll-Up Exterior Shades (Sun Screens)
Standard 41	Electric Vehicle Charging Stations
Standard 42	Solar Panels, Two-Story Buildings with Flat Roofs
Standard 43	Bathroom Splits
Standard 44	Fencing – Vinyl

**POLICIES & PROCEEDURES** – Currently there are 12 Policies & Procedures addressing specific issues. There are IN ADDITION to the above standards.

**STANDARD ALTERATION PLANS** – There are over 230 standard alteration plans available. Using these pre-approved plans can minimize the processing time.

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## THIRD ARCHITECTURAL STANDARDS

Manor Alteration Requests will be reviewed for compliance with these Standards.

Standard 1	GENERAL REQUIREMENTS
Standard 4	AIR CONDITIONING UNITS / HEAT PUMPS
Standard 5A	SATELLITE DISHES ON 1 STORY BUILDINGS
Standard 5B	SATELLITE DISHES ON 2 STORY BUILDINGS
Standard 5C	SATELLITE DISHES ON 3 STORY BUILDINGS
Standard 6	CONCRETE BLOCK WALLS
Standard 9	EXHAUST FAN INSTALLATIONS
Standard 10	EXTERIOR DOORS
Standard 11	EXCLUSIVE USE COMMON AREA FLOOR COVERINGS
Standard 11A	INTERIOR HARD-SURFACE FLOORING
Standard 12	EXTERIOR WALL ATTACHMENTS
Standard 13	FENCES, WROUGHT IRON
Standard 14	FIREPLACE INSTALLATIONS
Standard 16	GARAGE DOORS, SECTIONAL OR ONE PIECE
Standard 17	GATES
Standard 18	GUTTERS AND DOWNSPOUTS
Standard 19	BALCONY MODESTY PANELING
Standard 21	PATIO SLABS, WALKWAYS & PAVERS
Standard 22	PATIO & BALCONY COVERINGS
Standard 26	SKYLIGHT INSTALLATIONS
Standard 27	TUBULAR SKYLIGHT INSTALLATIONS
Standard 28	SOFT WATER UNITS
Standard 30	STORAGE CABINETS
Standard 30A	STORAGE CABINETS
Standard 31	WASHER & DRYER INSTALLATIONS
Standard 34	WINDOWS & WINDOW ATTACHMENTS
Standard 40	ROLL UP EXTERIOR SHADES (Sun Screens)
Standard 41	SOLAR PANELS, ONE-STORY BUILDINGS
Standard 41A	SOLAR PANELS, TWP-STORY BUILDINGS
Standard 42	RAMPS
Standard 43	HOT TUBS
Standard 44	ELECTRIC VEHICLE CHARGING STATIONS
Standard 45	VINYL FENCING
Standard 46	PRIMARY BEDROOM EXTENSIONS (Casa Grande Villa Paraisa)
Standard 47	BATHROOM SPLITS

**POLICIES & PROCEDURES** – Currently there are 19 Policies & Procedures addressing specific issues. These are IN ADDITION to the above standards

**STANDARD ALTERATION PLANS** – There are over 230 standard alteration plans available. Using these pre-approved plans can minimize the processing time.

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## Laguna Woods Village®

### THIRD MUTUAL CONSENT APPLICATION INSTRUCTIONS

To obtain a Mutual Consent, print out and/or download required attachments. Follow the list of requirements below necessary to provide a complete permit submission. All submissions must be sent to Manor Alterations Department ([alterations@vmsinc.org](mailto:alterations@vmsinc.org)).

1. Complete the **Mutual Consent for Application**
  - Include the homeowner's property address within the community, signature, and valid email address **(ATTACHMENT A) (See Third Alteration Sample Packet)**
  - The Contractor information and signature will be required
  - Review the Standards for Alterations for your proposed alteration. If a proposed alteration does not follow the standard provided, a Variance Request will be required in advance of alterations. **(ATTACHMENT B) (See Third Alteration Sample Packet)**
  - Include specifications of any products/items to be installed in your unit as related to your proposed alteration. **(ATTACHMENT C) (See Third Alteration Sample Packet)**
2. Provide a copy of the floor plan that corresponds to your unit/manor including-
  - Scope of work inclusive of all proposed alterations
  - Highlighted location of all proposed permit items within scope of work noted on floor plan **(ATTACHMENT D) (See Third Alteration Sample Packet)**
  - Manor Alterations will determine if Structural Drawings will be required dependent upon the proposed project
3. If the **General Contractor** listed on your application has not conducted work within the community, we will require a **Certificate of Liability** indicating the appropriate parties as "Additionally Insured", minimum coverages noted for General Liability, Worker's Compensation, and Automobile Insurance. **(ATTACHMENT E) (See Third Alteration Sample Packet)**
4. Payment will be obtained after your completed permit is approved by a Manor Alterations Inspector.
5. Please email complete submission to initiate the processing of your documents.

Once approved, Manor Alterations will contact the applicant via the information provided to collect credit card payment for the permit fees. An email will be sent with your approved documents to all parties involved to continue the process at the city.

# THIRD: MUTUAL CONSENT FOR MANOR ALTERATION(S)

Manor: 1234-A San Sebastian  
 Street: Main Street  
 Mutual Consent#: \_\_\_\_\_  
 Final Inspection: \_\_\_\_\_  
**A copy of the signed City Final Inspection is required for final acceptance by the Mutual**  
 City Demo Permit#: \_\_\_\_\_  
 Final Inspection: \_\_\_\_\_  
 City Permit#: \_\_\_\_\_  
 Final Inspection: \_\_\_\_\_  
 NAF: \_\_\_\_\_  
 Expiration Date of Mutual Consent: \_\_\_\_\_

The undersigned, a member of Third Laguna Hills Mutual, a California nonprofit corporation (hereafter referred to as the "Corporation"), hereby requests permission of the Corporation to make the alteration described below to the Manor. Said alteration (hereafter sometimes referred to as the "Work") shall be performed subject to the terms and conditions printed on the reverse side hereof, which terms and conditions set out the responsibilities of the member and the below named contractor. Per Resolution 01-10-88, hereby designates that the member below is a representative of the Mutual exclusively for the purpose of obtaining a City of Laguna Woods building permit for the alteration proposed herein.

## ATTACHMENT A

MANOR MODEL NAME: San Sebastian

PLAN #: A

**PROPERTY OWNER / APPLICANT INFORMATION**  Check Box if You Are Providing Fee Payment

Name: John Q. Homeowner

Phone: (949) 123-4567

Street Address: 1234-A Main Street

City: Laguna Woods

State: CA

Zip Code: 92637

Email: john.q.homeowner@gmail.com

**CONTRACTOR INFORMATION**  Check Box if You Are Providing Fee Payment

Company Name: A Standard Contractor Co.

Phone: (949) 987-6543

Street Address: 123 A Street

City: Aliso Viejo

State: CA

Zip Code: 92656

Email: james.t.contractor@gmail.com

License: 123456

Class: A-50

Expires: 1/1/23

**PROJECT DESCRIPTION:**

**VALUATION: \$**

Installation of (2) velux 14" sun tunnels within dining area, spaced 10 linear feet apart.

**ALTERATIONS TO BE COMPLETED PER MUTUAL RULES & STANDARD SECTION(S):**

PER MUTUAL APPROVED STANDARD PLAN(S) #

PER MUTUAL APPROVED VARIANCE RESOLUTION #

**MEMBER: IMPORTANT, PLEASE READ CAREFULLY**

- The Mutual's Alteration process requires the Mutual Member receive a copy of the Mutual Standard to which the requested Mutual Consent applies, where applicable. To ensure compliance, the Member's signature below indicates receipt of the Standard is necessary, and a Mutual Consent will not be issued without this required signature.
- I understand that I will be in non-conformance if my contractor and/or I do not conform to Mutual Rules and Regulations, and that I may be subject to Member Disciplinary Procedures, including the possibility of a fine in accordance with the Schedule of Monetary Penalties.
- I understand and agree that I am responsible for all risks in connection with all alteration(s) or improvement(s), including but not limited to, the costs of removing, altering, protecting, or replacing the same as may be necessary or appropriate to conduct Corporation business.
- I understand and agree that I am responsible for, and bear all costs in connection with all alteration(s) or improvement(s), including any costs associated with remediation, clean-up or repair of mutual owned or controlled property, caused by or resulting from alteration(s) or improvement(s) or the installation thereof.

**I understand that I am responsible for the actions of my contractor(s), I understand that I am responsible for any damages, claims, fines, or violations that result from the actions or inactions of my contractor(s) or guest(s).**

**I will ensure that items requiring inspections will not be covered WITHOUT INSPECTION AND APPROVAL by the CITY OF LAGUNA WOODS BUILDING INSPECTOR. I also understand that the Mutual Consent will EXPIRE within 180 DAYS.**

Signature of Member: John Q. Homeowner

Date: 1/15/23

**CONTRACTOR: IMPORTANT, PLEASE READ CAREFULLY**

I have received, read, understand, and agree to follow and confirm to all current Mutual Standards regarding this alteration(s). In addition, I am a contractor licensed pursuant to the laws of the State of California and agree to perform the work subject to the terms and conditions printed on the reverse side of this application. I will ensure that items requiring Inspections will not be covered **WITHOUT INSPECTION AND APPROVAL** by the **CITY OF LAGUNA WOODS BUILDING INSPECTOR**. I also understand that Mutual Consent will **EXPIRE** within **180 DAYS**.

Signature of Contractor: John Q. Contractor

Date: 1/20/23

**IMPORTANT NOTICE: ASBESTOS-CONTAINING MATERIALS THAT ARE BASICALLY INERT AND HARMLESS IF NOT DISTURBED MAY BE PRESENT IN CEILINGS, FLOORS AND OTHER BUILDING COMPONENTS. LEAD-BASED PAINT MAY BE PRESENT. MEMBER AND CONTRACTOR ARE CAUTIONED TO TAKE ALL REASONABLE AND PRUDENT MEASURES TO PROTECT PERSONS AND PROPERTY BEFORE DISTURBING SUCH MATERIALS. MEMBER AND CONTRACTOR AGREE TO ABIDE BY ALL FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, CODES AND REGULATIONS RELATING TO DISTURBANCE, REMOVAL AND/OR DISPOSAL OF ALL REGULATED MATERIALS; AND UPON REQUEST, COPIES OF DISPOSAL MANIFESTS WILL BE PROVIDED TO THE CORPORATION.**

**FOR OFFICE USE ONLY**

This application is approved and said member is hereby granted permission to make the above described alteration(s).

Alteration Code(s):

# ATTACHMENT A

1. No person shall make any alteration of, make any addition to, or remove any portion of any real property owned, managed or controlled by the Corporation without the prior written approval of the Corporation as evidenced by a Mutual Consent for Manor Alteration issued by the Corporation.
2. Concurrently with this application the following documents shall be submitted together with the required fee pursuant to Clause 10 herein.
  - a) A description of the proposed work to be performed.
  - b) If the proposed work is to be performed by a contractor, a copy of the written agreement covering the proposed work, executed by the member and the contractor.
  - c) If applicable, a building permit issued by the City of Laguna Woods, County of Orange, State of California.
  - d) Upon its submission, each of said documents shall be incorporated by reference and become a part of this application.
3. Any contractor who proposes to perform the work:
  - a) Shall be licensed as a contractor as required by the laws of the State of California, and shall present evidence thereof to the Corporation.
  - b) Shall maintain in force Commercial General Liability insurance and Workers Compensation insurance satisfactory to the Corporation. A performance bond and a labor and material bond may be required at the option of the Corporation.
  - c) Shall complete, verify and file with the Corporation, a Construction Contractor Pass Application, and shall promptly notify the Corporation of any change in the information provided in such application until such time as any warranties required in Clause 5 shall expire.
  - d) Shall identify all vehicles and persons with involved in performance of the work in a manner satisfactory to the Corporation, and surrender upon demand of the Corporation all identification credentials (such as passes which may have been supplied to them); such credentials remaining at all times the property of the Corporation.
  - e) Hereby warrants that all work to be performed shall be free from defective workmanship and materials for a period of not less than one year from the date of final inspection by the Corporation as provided herein.
  - f) Shall perform all work to the satisfaction of the Corporation, subject to the inspection of the Corporation as provided in Clause 10 herein.
  - g) Shall indemnify and hold harmless the Corporation, Golden Rain Foundation of Laguna Woods, their officers, directors, agents and sureties pursuant to Clause 7 herein.
  - h) Shall keep the real property on which the work is to be performed free of all liens or claims pursuant to Clause 11 herein.
  - i) Shall comply with all applicable laws, plans, rules and regulations pursuant to Clause 4 herein,
  - j) Shall promptly commence the work and diligently prosecute the same to completion without unduly inconveniencing the member and neighboring residents and upon completion, file a request for final inspection with the Corporation on a form provided by the Corporation.
4. The member and contractor, shall comply at all times with:
  - a) All federal, state and local laws, ordinances, codes and regulations.
  - b) The plans and specifications or other description(s) of the work submitted to and approved by the Corporation.
  - c) All rules and regulations of the Corporation and all other corporations owning, controlling or managing real property in Laguna Woods Village@, Laguna Woods, California.
5. The member and the contractor, if any, hereby agree that any defects due to faulty materials or workmanship which appear within one year, or such greater period may be guaranteed by the contractor, if any, after final inspection by the Corporation, shall be corrected by and at the expense of the member and/or the contractor, if any, as the Corporation may, in its sole discretion, determine.
6. The member and the contractor, if any: understand that Village Management Services, Inc. is the Management Agent for the Corporation and is authorized act on behalf of the Corporation and to approve any application for Mutual Consent for Manor Alteration, if it complies with the requirements established by the Corporation. Notwithstanding any other provision herein, the Managing Agent is authorized to disapprove any application or revoke any approval after issuance if, in the sole judgment of the Management Agent, such disapproval or revocation may be in the best interest of the Corporation.
7. The member and the contractor, if any, agree to indemnify, defend and hold harmless the Corporation, Golden Rain Foundation of Laguna Woods, their officers, directors, agents and sureties from any and all claims, liens, liabilities, costs, expenses, fines, penalties or fees arising out of the work, including attorney's fees and court costs as may be incurred in defending against any such claims, liens, liabilities, costs, expenses, fines, penalties or fees.
8. Approval of this application shall not be deemed to create any right to approval of any other such application on the part of the member.
9. Approval of this application shall not create any right to the approval of any other application involving the same or similar work proposed to be performed by such contractor.
10. Concurrent with this application the member shall pay the current fee pursuant to the schedule of fees as determined by the Corporation from time to time. The Corporation may inspect and inquire into the status the work and may make a final inspection within 30 days after receipt of a written request for final inspection on a form provided by the Corporation from the member or contractor. No inspection by the Corporation shall constitute a waiver of any right of the Corporation or a release of any obligation or duty of the contractor or member hereunder, or warranty that the work has been completed properly or complies with applicable laws, ordinances, codes or regulations.
11. The real property on which the work is performed shall be kept free from liens or claims of mechanics, material men, subcontractors and others connected with the work. The contractor, if any, agrees to waive all rights for liens for any amount claimed to be due to the contractor from the member and agrees to execute release(s) of liens or other documents as requested by the Corporation, converting all work, labor and materials, including equipment and fixtures of all kinds, performed or furnished in connection with the work.
12. The contractor, if any, agrees that the issuance of a Mutual Consent for Manor Alteration shall constitute permission to the contractor, his subcontractors, agents and employees to Laguna Woods Village®, Laguna Woods, for such purposes and times as are reasonable and necessary for the prompt and efficient performance of the work. Such permission may be revoked by the Corporation at any time, with or without cause, as to the contractor, his subcontractors, agents and employees, or as to any of them.
13. The member hereby agrees to be responsible for the maintenance and repair of all additions or alterations created by the work, except for damage caused by or resulting from the gross negligence or willful misconduct of the Corporation, its officers, directors or agents. Notwithstanding any provision of any agreement between the contractor and the member to the contrary, no more than ninety per cent (90%) of the contract price for the work shall be paid by the member until the work has been completed and inspected as provided herein. In the event that legal proceedings are instituted by or against the Corporation in connection with this application or the work, the member and the contractor jointly and severally agree to pay the Corporation all costs and expenses of such proceedings including reasonable attorney's fees. The member and the contractor, if any, understand that Village Management Services, Inc. is the Management Agent for the Corporation and is authorized act on behalf of the Corporation and to approve any application for Mutual Consent for Manor Alteration, if it complies with the requirements established by the Corporation. Notwithstanding any other provision herein, the Managing Agent is authorized to disapprove any application or revoke any approval after issuance if, in the sole judgment of the Management Agent, such disapproval or revocation may be in the best interest of the Corporation.

Signature of Member: \_\_\_\_\_

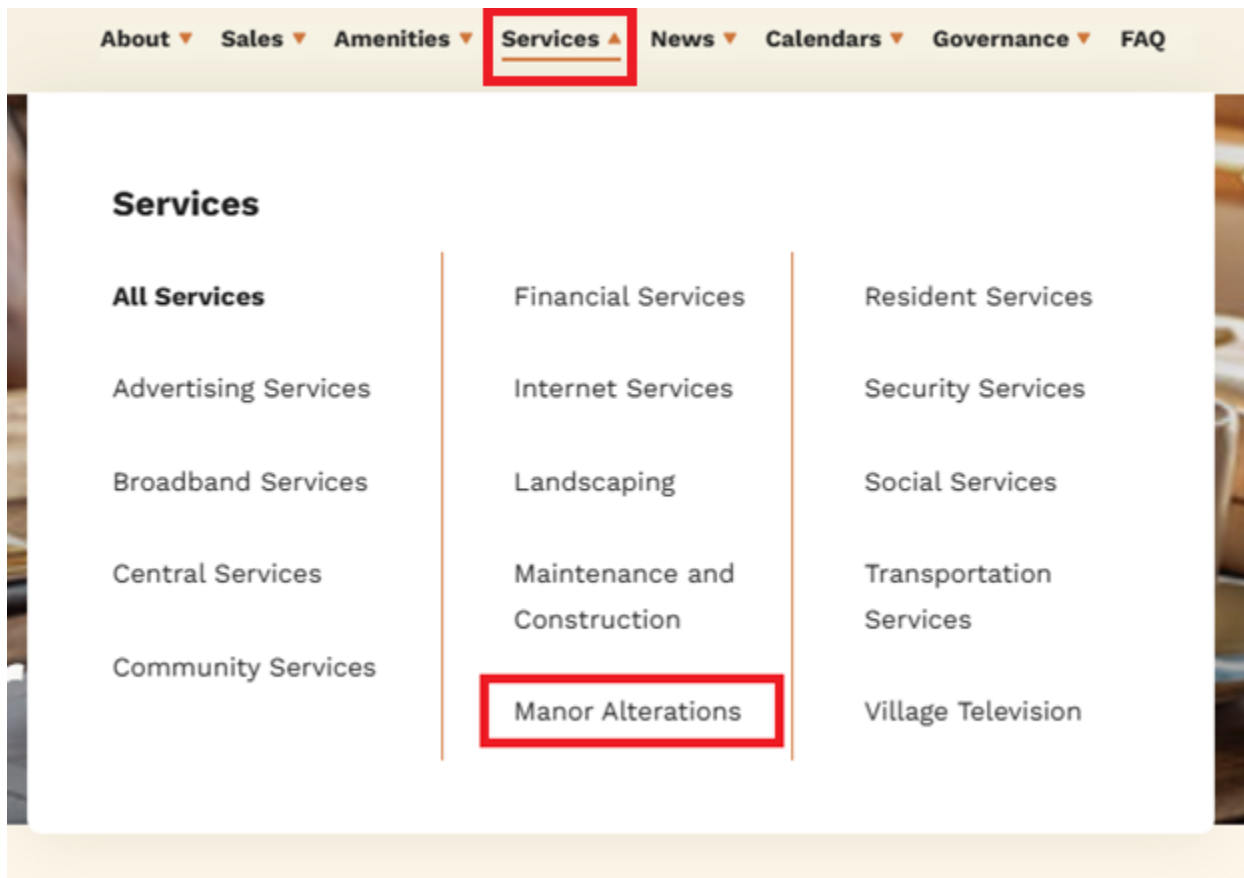
Date : \_\_\_\_\_



# Laguna Woods Village®

To review the alteration standards for your mutual consent application, follow the list of instructions below.

1. Visit our website [www.lagunawoodsvillage.com](http://www.lagunawoodsvillage.com) and click the "Services" tab. Within the dropdown menu, click on "Manor Alterations" tab.





# Laguna Woods Village®

2. Scroll down to your mutual's assigned section.

The screenshot displays two side-by-side panels. The left panel is for 'THIRD LAGUNA HILLS MUTUAL' and the right panel is for 'UNITED LAGUNA WOODS MUTUAL'. Each panel has a header with the mutual's logo and a title: 'Third Mutual frequently used documents' and 'United Mutual frequently used documents'. Below each title is a list of five links, each with a right-pointing arrow. In both panels, the first link, 'Architectural standards', is enclosed in a red rectangular box.

3. Scroll down to the alteration standard(s) relating to your proposed alteration.

Example: Installing (2) Skylights within Dining Room.

The screenshot shows a dropdown menu with a yellow header labeled 'Architectural standards'. Below the header is a list of five items, each preceded by a small square icon with a downward arrow. The second item, 'Third Standard 27 Tubular Skylight Installations', is highlighted with a red rectangular box.





- 4. Review the alteration standard to confirm materials, application, regulations, and potential product information. If your proposed alteration does not conform to a standard alteration, it may require a variance.

ALTERATION STANDARD EXAMPLES:

**UNITED LAGUNA WOODS**  
MUTUAL

**STANDARD 25: TUBULAR SKYLIGHT INSTALLATIONS**  
SEPTEMBER 1995  
REVISED SEPTEMBER 2003, RESOLUTION 01-03-131  
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104  
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08  
REVISED FEBRUARY 2019, RESOLUTION 01-19-21

**1.0 GENERAL REQUIREMENTS**

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

**2.0 DEFINITION**

**2.1** "Tubular skylight" refers to skylights with a cylindrical roof-mounted light collector typically consisting of an acrylic lens set in a metal frame. A reflective sun scoop in the rooftop assembly directs sunlight into a metal or plastic tube with a highly reflective interior coating. The reflective tube guides sunlight to a diffuser lens mounted on the interior ceiling surface that spreads light throughout the room.

**2.2** Tubular skylights are sold under several different brand names. For the purpose of definition, some of the more common brand names include: Solatube, Daylight, Solar Bright, Sun-Dome, Sun-Tek, True Light, etc.

**3.0 APPLICATIONS**

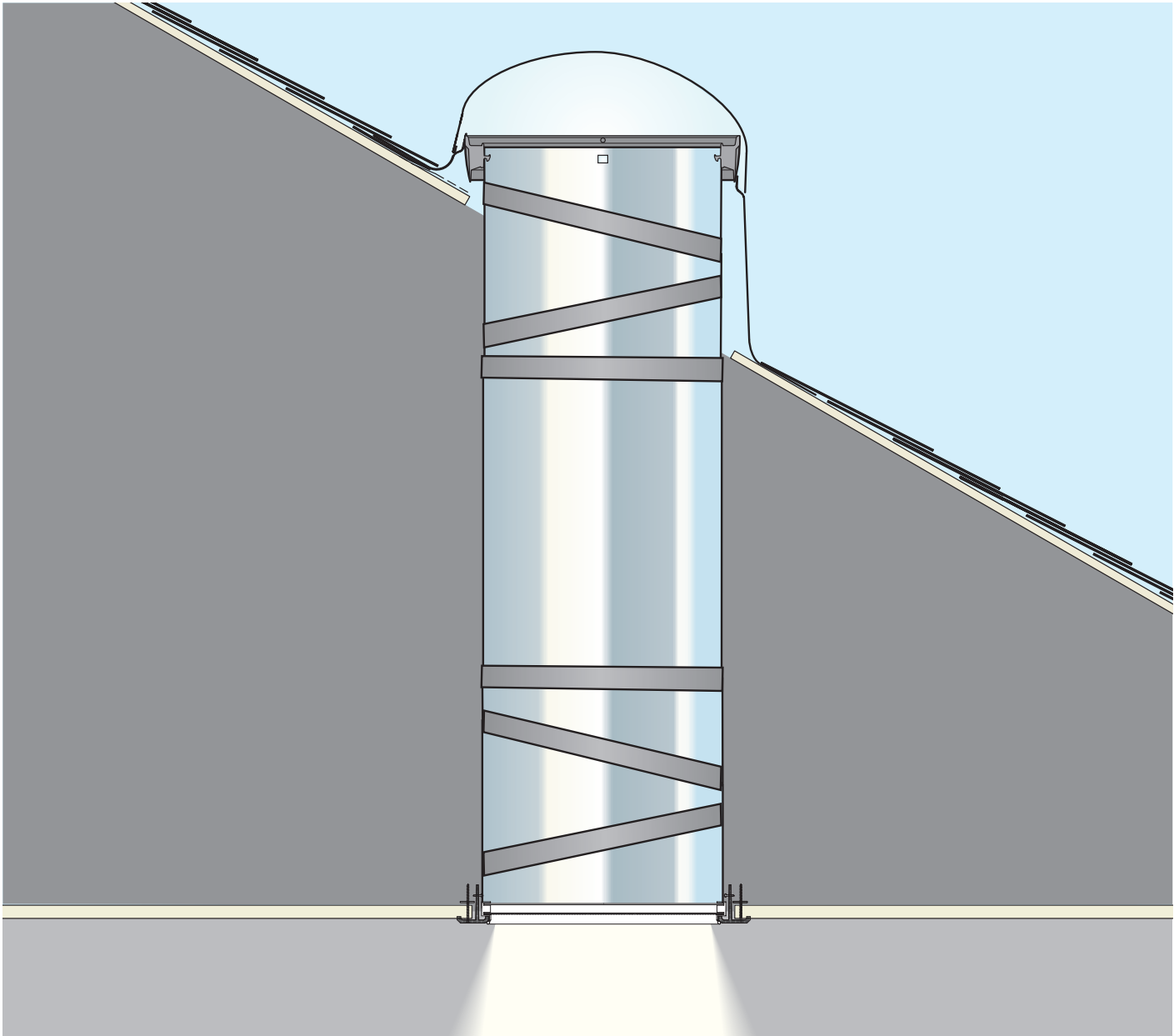
**3.1** Tubular skylight installer shall guarantee in writing, the watertight integrity of the skylight, tube and related roof area for 5 years from date of installation, and shall repair, without charge to owner, any such defects.

**3.2** All roofing work shall be in strict conformance with current building codes and any applicable Mutual Standard Drawings.

**3.3** No units shall be installed with the edge of the tubular skylight flashing within 12" of any vent, ridge or vertical structure.



# TGR/THR/TMR



**ENGLISH:** Installation instructions for rigid sun tunnel TGR/THR/TMR

**ESPAÑOL:** Instrucciones de instalación para túnel solar rígido TGR/THR/TMR

**FRANÇAIS :** Instructions d'installation du tunnel de lumière rigide TGR/THR/TMR



# General Notes

# ATTACHMENT C

1. This drawing emphasizes the THR pitched flashing VELUX SUN TUNNEL Skylight. It illustrates a general arrangement layout (plus recommendations) for a VELUX THR installation in a 14-60 degree roof pitch application utilizing either a suspended acoustical tile or grid ceiling installation.
2. The architectural/structural design and specifications for the inclusion of a tubular daylighting device, such as the VELUX THR, in any roofing/ceiling application is determined and provided by others. The design criteria includes, but is not limited to design loads, structural configurations, structural framing member sizes and material, architectural finishes and integration with the roofing/ceiling systems of the building. VELUX assumes no responsibility or liability in the design, construction and performance of a building structure by others.
3. Dimensions shown are nominal, unless indicated otherwise.
4. THR 010 0000 nominal diameter is 10". THR 014 0000 nominal diameter is 14".
5. Maximum tunnel length is 20'. Minimum tunnel length is 16".
6. Ceiling rough opening cut for 010 = 10 $\frac{3}{4}$ ", 014 = 14 $\frac{3}{4}$ ".
7. Minimum 1 1/4" clearance required around ceiling rough opening, to fit trim ring.



## THR Components

### THR 014 0000/THR 010 0000

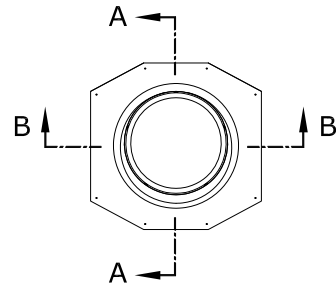
- Acrylic Dome
- Counter flashing assembly
- Hardware bag
- Option
  - THR 014 1000/THR 010 1000 Impact Polycarbonate dome
- 24"/.61m Rigid tunnel
- (2) 11.5"/.29m Rigid elbows
- Tape for tunnel joints
- Hardware bag
- Ceiling ring assembly with crackle over frosted diffuser
- Gasket material for diffuser
- Hardware bag
- Options
  - ZTC 014 0002US-Prismatic diffuser
  - ZTC 014 0003US-Fresnel diffuser

### Option: ZTC 014/ZTC 010 0041US Energy kit

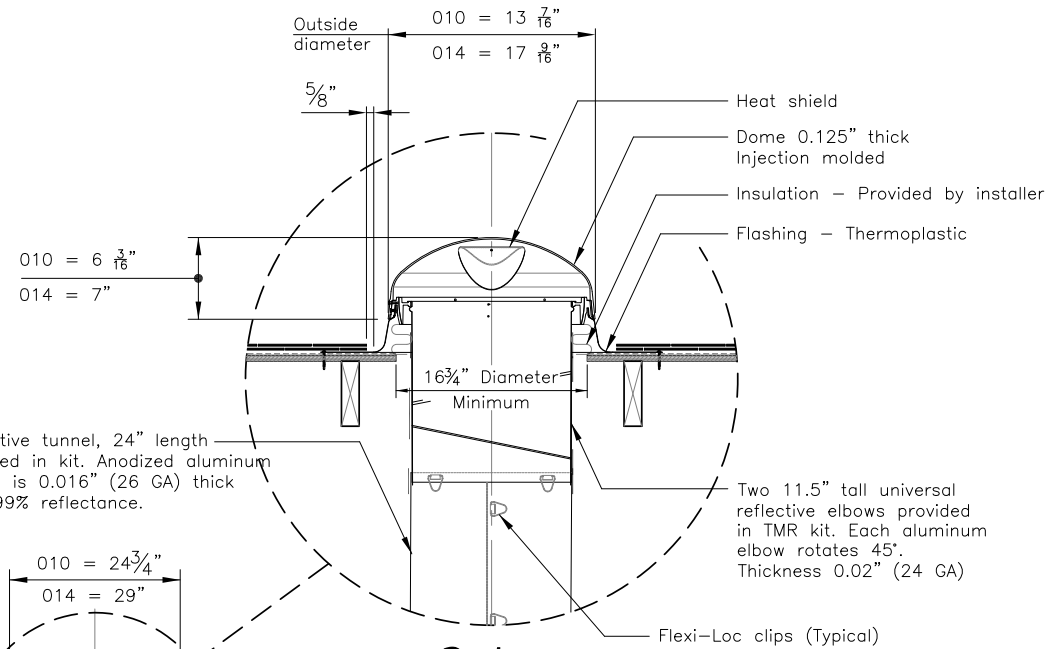
- Residential energy kit (Heat shield & quad diffuser)

### Option: ZTR 014/ZTR 010 Rigid Tunnel Extensions

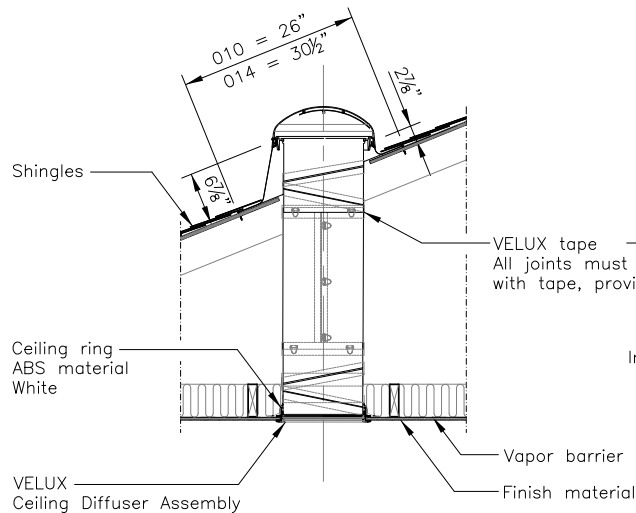
- ZTR 014/ZTR 010 0002 24"/.61m Rigid tunnel
- ZTR 014/ZTR 010 0004 48"/1.22m Rigid tunnel
- ZTR 014/ZTR 010 0006 72"/1.83m Rigid tunnel
- ZTR 014/ZTR 010 0012 144"/3.66m Rigid tunnel
- ZTR 014/ZTR 010 0024 288"/7.32m Rigid tunnel



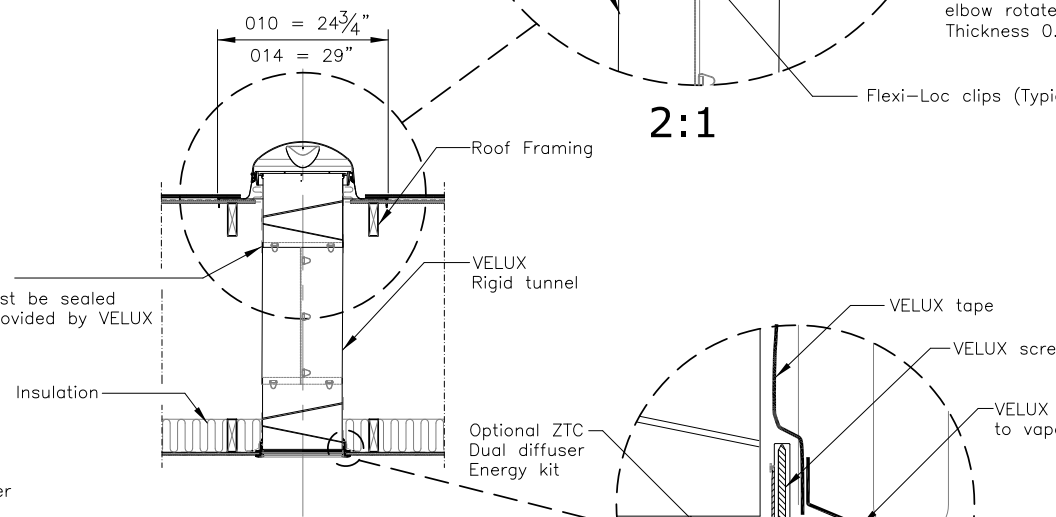
Plan View



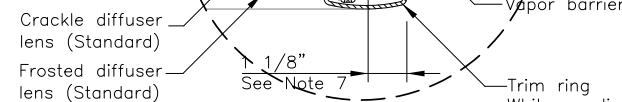
2:1



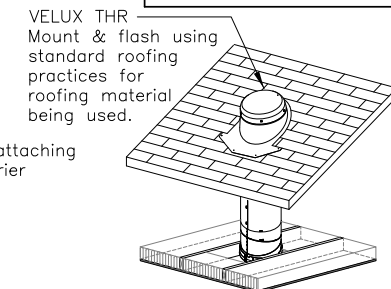
Section A-A



Section B-B



10:1



## General Arrangement Layout

VELUX  
1418 Evans Pond Road  
Greenwood, SC 29649  
1-800-88-VELUX  
www.VELUXUSA.com

**THR - Residential SUN TUNNEL**

# ATTACHMENT C

Date: June 7, 2017

Created by: CNJ

TGC/TMC Product Data Sheet

Starting Production Code: BF06 (June 2016)



Description	General	An engineered day lighting system consisting of a field assembly of an exterior frame/roof flashing unit and an interior diffuser system joined by a rigid, reflective tunnel. The system is capped with an acrylic or polycarbonate tall dome with Sun Curve (22") or low profile dome (14") and diffuses the light with an interior Round to Square ceiling adaptor with an acrylic diffuser or a round diffuser sytem.
	Instructions	Installation instructions included in every box. VAS 453607
Installation	Applications	Flashing - G90 Galvanized flashing with water diverters for composite shingles, thin wooden shakes, slate, or membrane type roofing material.
	Roof Pitch	0° to 60° (TGC 0° to 30°; TMC 14° to 60° recommended)
	Flashings	Flashing is built on to the unit.
Compatibility	Interior Accessories (Optional)	ZTB - Decorative Diffuser
		ZTC 0041US - Energy kit (for insulation at ceiling level)
		ZTC 0401US- Energy kit (for insulation at roof level)
		ZTP - Daylight Controller
		ZZZ 233 - Dimmer Power Supply
	Exterior Accessories (Optional)	ZZZ 192 - Exterior Fire Band
		ZTR - Additional rigid tubing available in 2', 4', and 6" lengths.
		ZTQ - Security bars
		ZTZ 211 - Rotating coupler
		ZTE - Rotating elbows
		ZTY - Vapor barrier (for use with THC)
		ZTA - Turret extender
		ZTZ 203 - Suspension wire kit
		ZTM - Tile Flashing for Pitched Sun Tunnels (TMC Only)
		ZTZ 209 - Diffusion Enhancer
Materials	Dome	92% transparent impact resistant acrylic with UV absorbers or polycarbonate
	Flashing	G90 Galvanized metal low profile flashing (TGC) projects 4" above the roof deck and is available in 14" and 22". G90 gvanized metal pitched flashing (TMC) allows for a horizontal dome installation when installed on a pitched roof and projects 9" above the roof deck and is available in 14" only.
	Diffuser Assem (Rd to Sq)	1/8" thick White Acetal copolymer or Kynar (plenum rated), Available with Fresnel, Prismatic or Frosted diffuser
	Diffuser Assem (Drywall)	22" or 14" Round - White ABS Thermoplastic ceiling ring, dual diffuser system with a 1.5 mm clear secondary acrylic diffusion panel, Dia. 350.5 mm (014), Dia. 551 mm (022) and a 3 mm primary acrylic diffusion panel in either frosted, prismatic, or fresnel , Dia. 350.5 mm (014), Dia. 551 mm (022).

# ATTACHMENT C

Materials Cont.	Diffuser Assem (Open Ceiling)	22" Round Polycarbonate/Acrylic alloy frame with either frosted, prismatic, or fresnel single lens.	
	Ceiling Ring Gasket	Triple sealing flexible vinyl.	
	Rigid Tubing	Highly reflective silver coated aluminum, 98% reflective	
	Rigid Elbows	45° Rotating elbows, 11.5" tall, 0.02" (0.51 mm) thick	
	Tape	2" wide Aluminum tape	
	Screws	1" Self fastening screws for fastening dome and lower reflective elbow.	
	Tunnel clips	Flexi-Loc clips	
Sizes	Standard Sizes	TGC - 14" and 22" diameters TMC - 14" diameter	
	Tunnel lengths	Maximum	20'
		Minimum	16"
	Dome 014	Thickness = 1/8" or 3mm, Height = 6 15/16" or 176.5mm, Outside diameter= 17 9/16" or 446.2mm, Inside diameter = 16 7/8" or 429.5mm.	
	Dome 022	Thickness = 1/8" or 3.2 mm, Height = 16-5/16" or 415 mm, Outside diameter= 25-5/8" or 650.2 mm, Inside diameter = 25" or 633.7 mm.	
	Flashing 14"	29.00" x 29.00" (736.5mm x 736.5mm)	
	Flashing 22"	37" x 37" (940mm x 940mm)	
Ceiling Ring Size	14" Models		22" Models
	Inside Diameter = 356.5 mm, Outside Diameter = 426 mm.		Inside Diameter = 557.5 mm, Outside Diameter = 627 mm.
Certification	Air/Water/Structural	<input checked="" type="checkbox"/> Hallmark <input type="checkbox"/> TDI <input type="checkbox"/> IAPMO-ES	<input checked="" type="checkbox"/> Florida <input type="checkbox"/> Miami Dade <input type="checkbox"/> LA Research Report
	Thermal (Energy Models)	<input checked="" type="checkbox"/> U-Factor <input type="checkbox"/> Energy Star Option	<input checked="" type="checkbox"/> SHGC
Warranty	Complete Product	10 years from the date of purchase, VELUX warrants that the SUNTUNNEL skylight will be free from defects in material and workmanship	
Changes from Earlier Versions	Exterior	Introduce Flexi-Loc system, Sun Curve, Tall Dome, New elbows	
	Interior	New accessories - Decorative diffuser, plenum rated accessories	
Type Sign	Example	48BD11A	
	Location	Sticker located on the black intermediate ring.	
Other Information	Features & Benefits	Great source of natural light, for spaces where regular skylights are not as practical or where diffuse light is desired.	

# ATTACHMENT C

## ENGLISH:

### Contents of packaging:

- 1 Dome
- 2 Flashing
- 3 Pivot ring
- 4 Upper elbow
- 5 Rigid tunnel section  
(additional sections are available)
- 6 Lower elbow
- 7 Ceiling ring
- 8 Diffuser (primary and secondary)

### Plastic bag:

- Screws
- Tape
- Tunnel clips
- Foam gasket

## ESPAÑOL:

### Contenido del paquete:

- 1 Cúpula
- 2 Tapajuntas
- 3 Anillo pivotal
- 4 Codo superior
- 5 Sección de túnel rígido  
(secciones adicionales disponibles)
- 6 Codo inferior
- 7 Anillo del cielo raso
- 8 Difusor (principal y secundario)

### Bolsa plástica:

- Tornillos
- Cinta
- Sujetadores para túnel
- Empaquetadura de gomaespuma

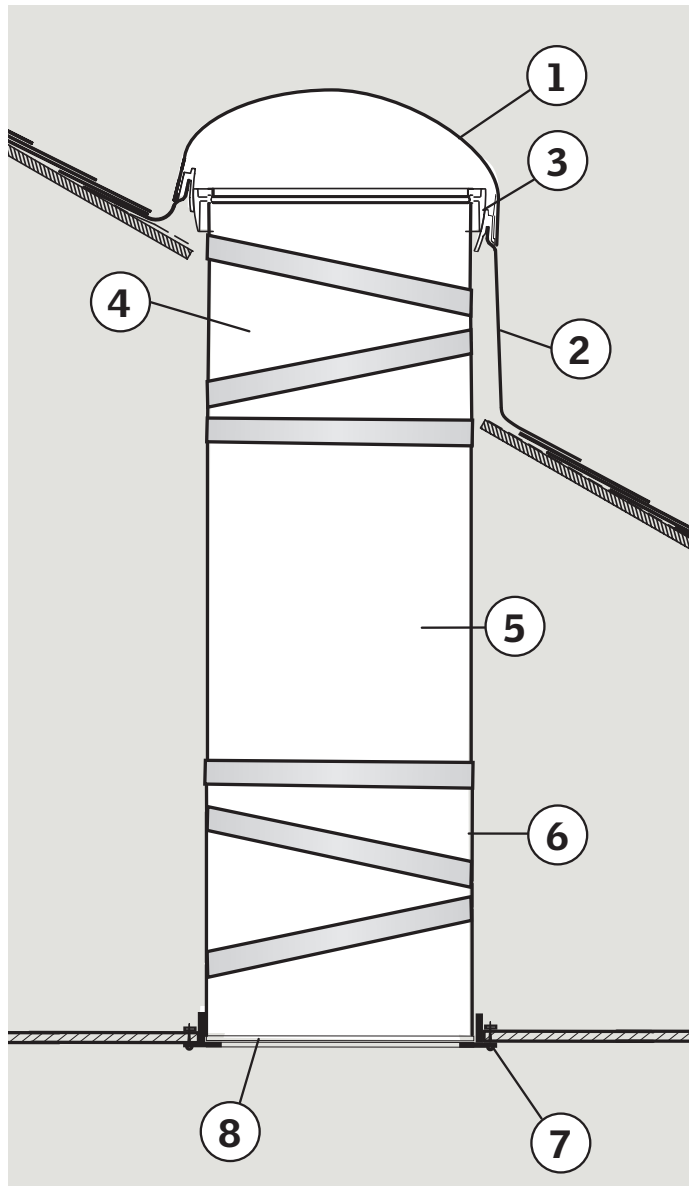
## FRANÇAIS :

### Contenu de l'emballage :

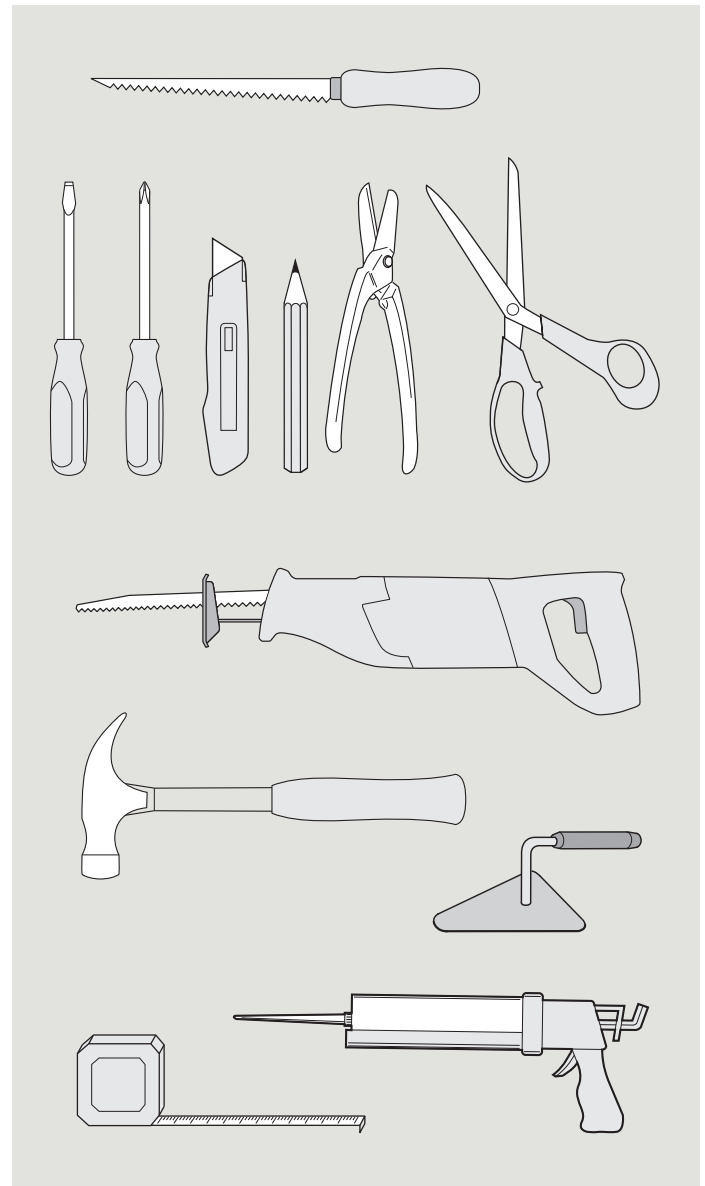
- 1 Dôme
- 2 Solin
- 3 Anneau pivotant
- 4 Coude supérieur
- 5 Section de tunnel rigide  
(sections additionnelles disponibles)
- 6 Coude inférieur
- 7 Anneau de plafond
- 8 Diffuseur (primaire et secondaire)

### Sac de plastique :

- Vis
- Ruban
- Attaches du tunnel
- Joint en mousse



## TOOLS · HERRAMIENTAS · OUTILS



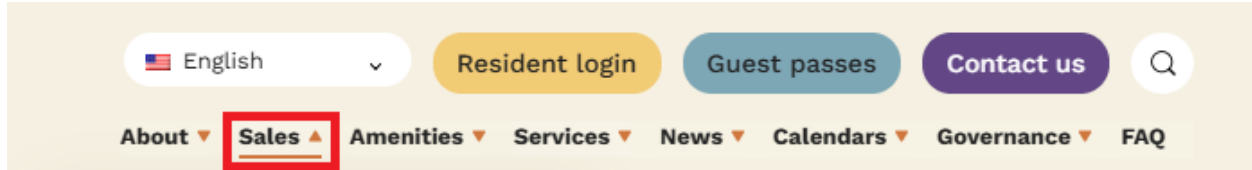


# Laguna Woods Village®

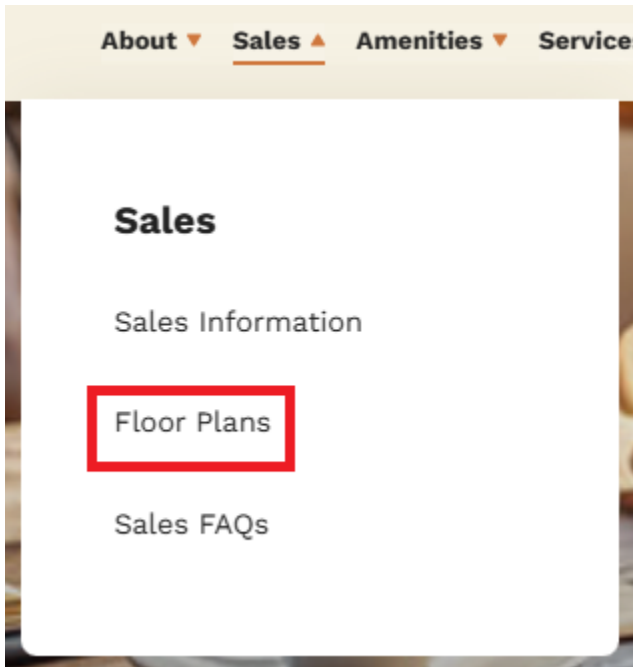
## LOCATING YOUR FLOOR PLAN

To obtain a required floorplan for your Mutual Consent Application follow the list of instructions below.

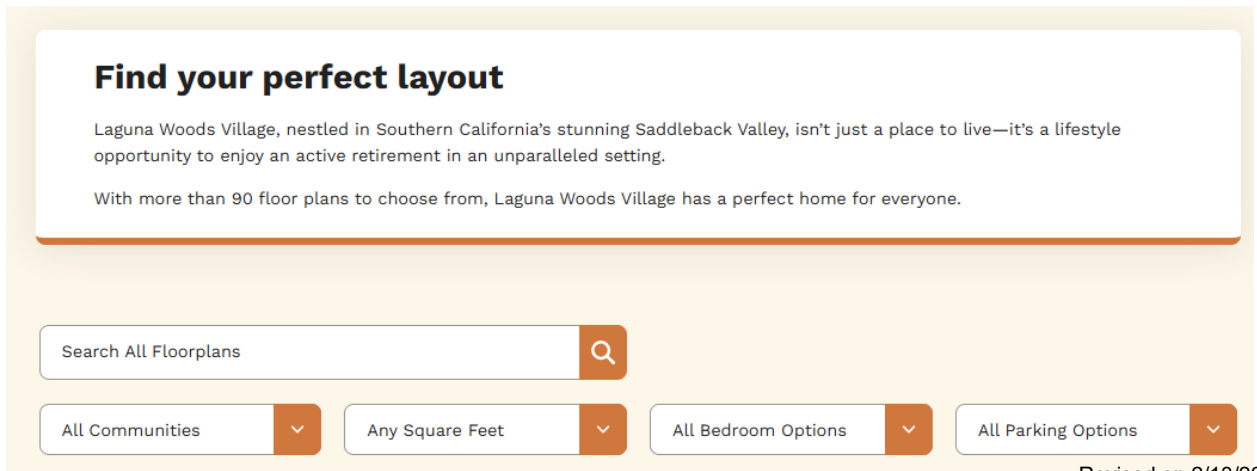
1. Visit our website [www.lagunawoodsvillage.com](http://www.lagunawoodsvillage.com) and click “Sales” Tab



2. Click “Floor Plans”



3. Click on “All Communities” Tab for “**Third Laguna Hills**” or “**United Laguna Woods**” to search for your plan. • You may narrow your search by selecting the corresponding square footage, number of bedrooms and/or parking.



**Red Highlighted Section indicates location of Asbestos Removal**

**X Mark indicates location of skylights**

### San Sebastian

Approximate Gross Internal Area = 88.5 sq m / 953 sq ft

**SAMPLE**

<https://www.lagunawoodsvillage.com/neighborhoods/floorplans>

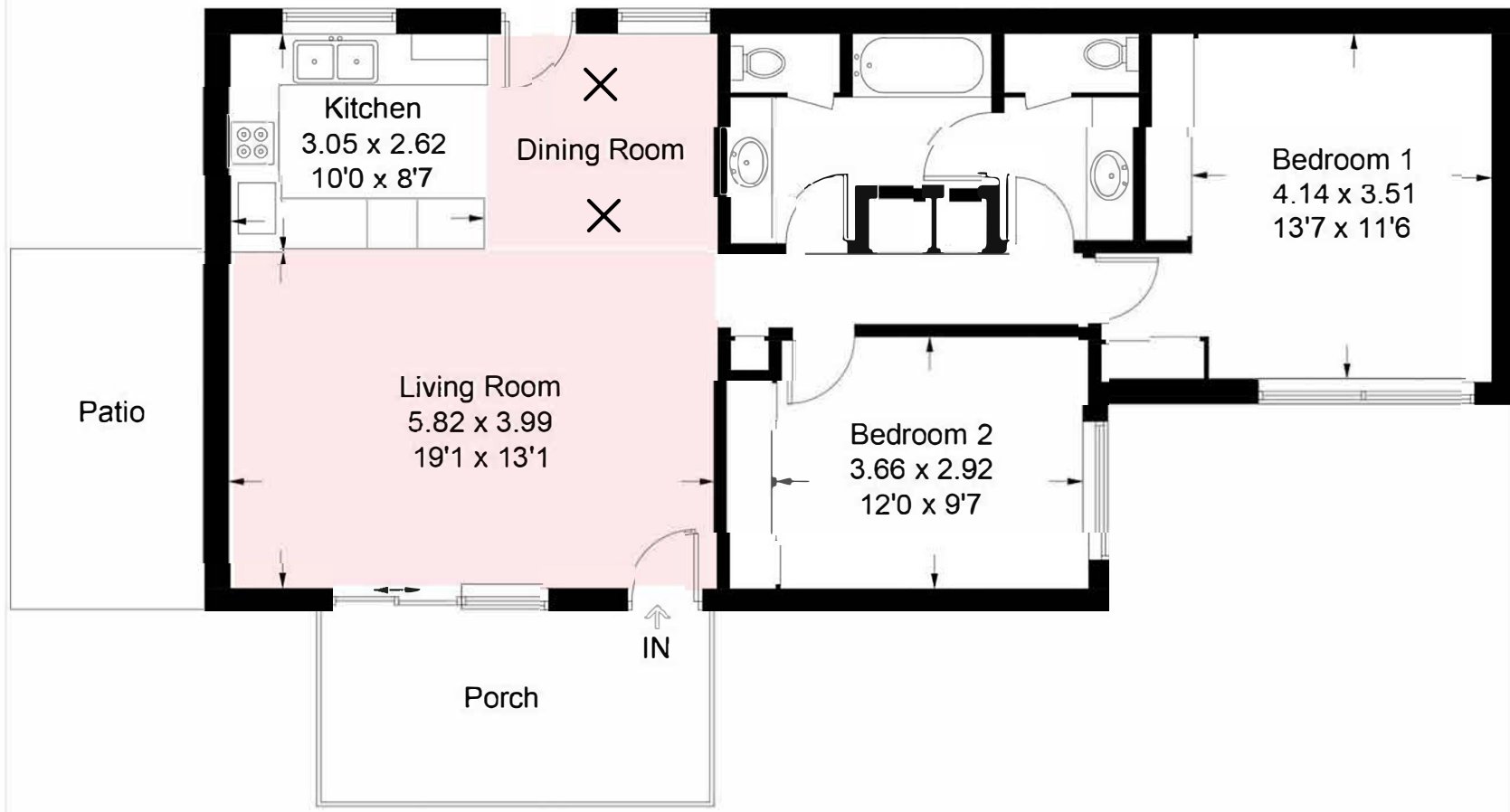


Illustration for identification purposes only, measurements are approximate, not to scale. FloorplansUsketch.com © 2017 (ID367257)





## Laguna Woods Village®

# Certificate of Insurance Sample

CERTIFICATE OF LIABILITY INSURANCE				DATE (MM/DD/YYYY) 5/25/2023		
<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.</p> <p>IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).</p>						
<b>PRODUCER</b> ACME Insurance & Associates Insurance 10148 Riverside Drive Toluca Lake, CA 91602		<b>CONTACT NAME:</b> Manor Alterations <b>PHONE (A/C, No. Ext.):</b> (949) 597-4616 <b>FAX (A/C, No.):</b> (949) 597-4316 <b>E-MAIL ADDRESS:</b> alterations@vmsinc.org				
<b>INSURED</b> Smith, John 123 Main St Anytown, CA 90001		<b>INSURER(S) AFFORDING COVERAGE</b> INSURER A : Insurance Company INSURER B : INSURER C : INSURER D : INSURER E : INSURER F :		<b>NAIC #</b> 00000		
<b>COVERAGES</b>		<b>CERTIFICATE NUMBER:</b>		<b>REVISION NUMBER:</b>		
<p>THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.</p>						
<b>INSR LTR</b>	<b>TYPE OF INSURANCE</b>	<b>ADDL SUBR INSD</b>	<b>POLICY NUMBER</b>	<b>POLICY EFF (MM/DD/YYYY)</b>	<b>POLICY EXP (MM/DD/YYYY)</b>	<b>LIMITS</b>
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<input checked="" type="checkbox"/>	XYZ1234	6/4/2016	6/6/2016	EACH OCCURRENCE \$ 500,000 DAMAGE TO RENTED PREMISES (Ea occurrence) 5,000 MED EXP (Any one person) \$ 500,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) 500,000 BODILY INJURY (Per person) 100,000 BODILY INJURY (Per accident) 250,000 PROPERTY DAMAGE (Per accident) 100,000
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> EXCESS LIAB OCCUR CLAIMS-MADE RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
	Rented/Leased Equipment					Limit: \$50,000 Deductible: \$500 Example limit and deductible
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)						
<b>CERTIFICATE HOLDER</b>			<b>CANCELLATION</b>			
Certificate Holder Golden Rain Foundation of Laguna Woods Village Management Services Inc. Third Laguna Hills Mutual United Laguna Woods Mutual P.O. Box 2220 Laguna Hills, CA 92654			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE Sign here			

- 1 Producer**  
Your insurance agent; please contact your insurance carrier to have a document produced for you
- 2 Insured**  
Your name and address
- 3 Insurance Carrier**
- 4 Policy Number**
- 5 Effective Dates**
- 6 Liability Insurance Limits**  
Limits (maximum coverage) purchased for each coverage  
**General liability:** \$500,000/\$1,000,000  
**Auto (personal vehicle):** \$250,000/\$500,000  
**Auto (commercial vehicle):** \$500,000/\$1,000,000
- 7 Workers' Compensation**  
Workers' compensation and employment liability: \$500,000/\$500,000.  
For exceptions to workers' comp requirements, provide statement of no employees on company letterhead.
- 8 Certificate Holder**  
Golden Rain Foundation of Laguna Woods Village Management Services Inc.  
Third Laguna Hills Mutual  
United Laguna Woods Mutual  
P.O. Box 2220  
Laguna Hills, CA 92654

### What is a certificate of insurance?

A certificate of insurance (COI) is issued by an insurance company or broker and verifies the existence of an insurance policy.

### What is a "certificate holder?"

A certificate holder is someone who takes receipt or evidence of the COI. The certificate holder is the party to which the COI is provided.

### Contact Manor Alterations

8 a.m. to 5 p.m., Monday through Friday • 949-597-4616 • alterations@vmsinc.org  
 lagunawoodsvillage.com/residents/resident-services#manor-alterations





# Laguna Woods Village®

## MEMBER NOTICE

### ASBESTOS AND LEAD HAZARDOUS MATERIALS

All homes in Laguna Woods Village were constructed in the 1960s and 1970s. At that time, asbestos and lead-containing materials met local codes as well as state and federal regulations. These materials, known to be hazardous, were used extensively throughout many building products.

**Asbestos Containing Materials include but are not limited to:**

- Ceiling tile
- Floor tile/linoleum and mastic
- Textured wall surfaces
- Stucco & Tex-coat
- Cove Base Mastic
- Transite Panels behind bathroom shower walls
- Sprayed acoustical ceilings & attic overspray
- Fire doors
- Structural fireproofing
- Pipe/boiler insulation
- Attic insulation
- Heating duct material/insulation

**Lead Containing Materials include:**

- Lead Based Paint
- Lead containing ceramic tiles

Disturbing these hazardous materials without proper safeguards can be hazardous to your individual health, the worker's health and the environment.

Prior to any disturbance of such suspect materials, it is required that they first be tested and categorized by CA-State Certified Asbestos/Lead consultants. Based on such determination based on the levels of lead and asbestos content, the proposed renovation activities may have to be assigned to a contractor specifically licensed for asbestos/lead work in compliance with federal, state and local laws, codes and regulations. Work performed without providing the required documentation may result in exposure, costly cleanup process, legal liability, fines & penalties to the member. Violators also may be reported to CAL-OSHA and EPA/AQMD.

There are major legal consequences and fines set forth by city, state and federal regulations in addition to the legal liability concerning the health effects on contractors and workers conducting the work.

Mutual members and their contractors are required to abide by all applicable federal, state and local laws, ordinances, codes and regulations relating to disturbance, removal, transportation and disposal of asbestos and lead containing materials in their homes, in addition to any requirements set forth by the member's Mutual. Members must check with the Manor Alterations Division at Laguna Woods Village prior to performing any upgrades or renovations to the unit.



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# 6 TIPS

## Before Hiring a Contractor

- 1 Verify with the Contractors State Licensing Board that any contractor you are considering is licensed by visiting [cslb.ca.gov](http://cslb.ca.gov) or by calling **800-321-CSLB (2752)**.
- 2 Contact Manor Alterations at [alterations@vms.org](mailto:alterations@vms.org) or **949-597-4616** to confirm whether your proposed alteration requires a mutual consent.
- 3 Secure at least three bids from contractors and check their references. Online resources include:
  - [homeadvisor.com](http://homeadvisor.com)
  - [thumbtack.com](http://thumbtack.com)
  - [porch.com](http://porch.com)
- 4 Obtain a paper copy of the contract.
- 5 Beware contractor-endorsed financing.
- 6 Resist pressure to waive your five-day right to cancel.

Learn more at [bit.ly/ContractorHires](http://bit.ly/ContractorHires)

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Your insurance agent; please contact your insurance carrier to have a document produced for you
- 2 Insured**  
Your name and address
- 3 Insurance Carrier**
- 4 Policy Number**
- 5 Effective Dates**
- 6 Liability Insurance Limits**  
Limits (maximum coverage) purchased for each coverage  
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**Auto (personal vehicle):** \$250,000/\$500,000  
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 lagunawoodsvillage.com/residents/resident-services#manor-alterations

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# CONTRACTOR REQUIREMENTS

## CONTRACTOR WORK HOURS

---

Your contractor may perform work only during the following designated times:

- **QUIET WORK** – Work that does not result in excessive noise (e.g., painting, carpet installation) is permitted Monday through Saturday from 7 a.m. to 5 p.m.
- **NOISY WORK** – Work that results in construction-related noise (e.g., cutting tile, hammering, and the use of power tools) is permitted Monday through Friday from 8 a.m. to 5 p.m. and Saturday 9 a.m. to 5 p.m.
- **NO WORK** whatsoever is permitted on Sundays or on New Year's Day (January 1), Independence Day (July 4), Thanksgiving Day (fourth Thursday in November) and Christmas Day (December 25).

## CONTRACTOR PASS AND PARKING

To access the Village, contractors must obtain an alterations contractor pass, which is issued with a mutual consent. Contractors are prohibited from parking in visitor parking and must use street parking.

## CONTRACTOR COMPLIANCE

Please ensure contractors follow the United Laguna Woods Mutual nonsmoking policy, the Third Laguna Hills Mutual nonsmoking policy and construction waste rules. If your contractor does not abide by your mutual's rules, you may be held responsible.

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Laguna Woods Village®

## **CONTRACTOR VIOLATION POLICY**

It is crucial that contactors hired by members strictly follow mutual rules and restrictions related to construction, improvement and repair projects. Given the proximity between units and age of the buildings, among other related factors, any deviation from mutual rules or the member's approved scope of work has the potential to have a significant impact on the property as well as the adjacent neighbors. Staff has discovered a material increase in violations by member contractors who are either unfamiliar with or fail to abide by mutual rules and restrictions or who perform work outside of what was approved. Oftentimes this can lead to delays; increased project costs for members; increased noise, inconvenience and disturbance to neighbors; and unnecessary staff time and resources diverted to regulating and overseeing contractor violations and corrections.

This Contractor Violation Policy (policy) provides for penalties in the form of prohibiting offending contractors from performing work in United in an effort to protect members and United property and to encourage contractors to adhere to the rules and obligations governing the members and mutual.

Manor Alterations (MA) is the representative acting on behalf of the managing agent (VMS) for the mutual (United). This policy classifies the noticing, violation severity, enforcement, ramifications of disciplinary actions and remedies relating to the offenses. MA would use the policy criteria listed herein to evaluate the contractors' behavior and administer notices and violations to member contractors.

The circumstances for providing a potential violation notice or notice of violation and issuing violation suspensions are based on the severity of the offense listed in two categories as defined below:

### **Moderate Violation**

1. Any violation of Exhibit A – Conditions Rules & Obligations unless noted as a severe violation.

### **Severe Violations**

1. Any violation by a contractor performing demolition or initiating renovation work without all appropriate governmental and MA approvals inclusive of mutual consents issued by MA and City of Laguna Woods approvals, and
2. Any contractor performing work contrary to the work specifically noted on the mutual consent (MC) issued by MA for the following:
  - a. Performing any structural removal or modification, including, but not limited to, the widening of an opening of a doorway, passageway or window or removal or modification of a structural building element (inclusive of columns, bearing walls, shear walls, foundations, exterior walls, any work that would have required a variance approval from the board or lapse of any insurance coverage so disclosed by the contactor on the mutual standard certificate of liability insurance [COLI]).
  - b. Performing any work that is beyond the scope of work as defined by the mutual consent (MC). This expanded work will include, but not be limited to, installing a larger quantity of materials, amending the parameters initially identified, revised

layout, increased dimensions of an approved renovation or using differing materials as was indicated on the MC.

3. Any expansion of the MC description for demolition or improvement work previously issued without further authorization from MA. Any unauthorized asbestos release contrary to city code, SCAQMD or Cal/OSHA regulations, or
4. The reluctance to complete the approved MC scope of work within 90 calendar days of permit issuance, or such reasonable time for the work so described on the MC as agreed to with MA when the MC was initially issued, exempting therefrom, any reasonable extension of time for force majeure condition affecting the timely completion of the work. See Exhibit A – Construction Rules & Obligations Contractor, Item 17, for complete terms relating to time of completion. A force majeure event shall be defined as an event beyond the control of the contractor affecting the timely completion of the work. Allowable force majeure events shall be considered as an event(s) affecting the entire local contracting community that would include major material shortages, war, strike, riot, catastrophic weather event, labor disputes or governmental orders relating to a pandemic. The contractor's time shall only be extended for the duration of the force majeure event. Contractor shall notify MA within 3 business days of knowledge of such delay or the potential of a force majeure event to allow consideration of an appropriate extension of time.

MA is responsible for providing the following enforcement actions of this policy:

1. Substantiate violations with notices, notes and photographs; document and archive the violation events; and transmit violation material to contractor and member,
2. Maintain a log of violations recording at a minimum the contractor's name and address; detail of the violation circumstances; notes regarding the rules, regulations and obligations of violation; and other pertinent information of the event,
3. MA shall notify the manor member and contractor of all violations and potential consequences within seven working days from time of MA's knowledge of the violation,
4. Issuance of all violation notice documents are to be posted on the manor with a description of the violation(s). Contractor violations shall also be published in the biweekly news bulletin only after validation of the violation.
5. Maintain a master list of contractors who are ultimately determined to have engaged in violation of and/or have been suspended under this policy.

### **Contractor Violations**

Also see the contractor violation description below:

1. Moderate first violations – Any violation of the Exhibit A – Construction Rules & Obligations unless noted as a severe violation. Contractor and member will be notified of the first violation. All subsequent violations in this category will then escalate to a severe violation as described below.
2. Severe violations – If the first violation is a severe first violation (or a second moderate violation) then MA shall issue a potential violation notice. MA shall allow the contractor the opportunity to explain the circumstances of the violation. Under special circumstances shall the contractor be allowed to continue work. MA shall then determine if the potential violation notice shall become a violation notice and invoke those actions described in the contractor violation description.
3. In the event a suspension is issued, the contractor will no longer be allowed to do work within United. After the second suspension, board approval is necessary for contractor

reinstatement. Thereafter, any violation would result in permanent suspension from United.

- a. The member is responsible for any supplemental cost to mitigate the actions of his/her contractor that might be attributable to the consequences of damage, including, but not limited to, remediation of emergency asbestos cleanup and mitigation, damage to mutual property and fines established by governmental agencies.
  - b. The member is responsible for any increased costs in replacing a suspended contractor from an existing project, subject to No. 4 below.
4. Upon issuance of a notice of severe violation, the contractor shall not be allowed to submit any new application(s), and existing applications will be refused and/or the contractor will not be allowed to perform any further work in the mutual. However, the member of the manor issued the offense and any member who is currently using this contractor shall be allowed, with consultation, under special circumstances and only with the express written approval of MA to continue to use the offending contractor to finish an existing contract at the discretion of MA and in consideration of code compliance.

### **Contractor Violation Description**

Any violation or suspension due to a violation hereunder will be viewed in totality for any work performed by the contractor in the mutual, and not on a per-project/mutual basis.

### **Moderate Violation**

1. First offense – Notice of moderate violation and no further action to be taken.
2. Second offense – Escalation to severe violation pending MA conference (i.e., contractor will discuss with MA the basis for what was done so that MA can determine if there was a violation or a misunderstanding). If MA determines no further action is needed, it remains a moderate violation without suspension. If determined to be a second violation, MA will apply a 30-calendar-day suspension from working in the mutual.

### **Severe Violation**

1. First offense – Notice of potential violation. Pending conference with MA (i.e., contractor will discuss with MA the basis for what was done so that MA can determine if there was a violation or a misunderstanding). The result of this conference will be the basis a 30-calendar-day suspension.
2. Second offense – Notice of violation and mandatory 90-day suspension.
3. Third offense – Notice of violation and mandatory termination of contractor from all work within the mutual. Only board reinstatement can result in the contractor continuing to work in the mutual.

Suspensions resulting from the second and third offense violations will occur after a conference is held between MA and the contractor to determine if there was a violation or a misunderstanding. It shall also be determined if the member of the manor issued the offense and any member that is currently using this contractor, shall be allowed, under special circumstances, to continue to use the offending contractor to finish their existing contract at the discretion of MA and in consideration of code compliance.

**Regardless of the violations levied as noted herein, contractor and member may be subject to other costs as a result of damages to mutual property.**

### **Contractor Right to Dispute**

The contractor's right to dispute the violation shall be as follows:

1. The contractor has the right to dispute the MA notice of violation by emailing a hearing request to [alterations@vmsinc.org](mailto:alterations@vmsinc.org) and copying the MA supervisor and MA manager within seven calendar days of the notice of violation issuance to contractor.
2. Said hearing request will be heard by United's ACSC at its next appropriate hearing date.
3. Should the contractor make a hearing request, all conditions of the violation, including the suspension, will remain in effect until the ACSC provides a final determination.

## **Exhibit A – Construction Rules & Obligations**

Both member and contractor shall abide by Exhibit A – Construction Rules & Obligations, may be held responsible for damages and take responsibility for the violations as a result of not complying with Exhibit A – Construction Rules & Obligations. Contractor agrees to comply with all rules and regulations, and violation provisions as stated in Exhibit A – Construction Rules & Obligations and the Contractor Violation Policy.

1. Mutual consent (MC) approvals: No improvement shall be installed, constructed, modified or altered at any manor (property) within United Laguna Woods Mutual (mutual) without obtaining the proper demolition and new improvement permits in the forms of MCs for alterations and demolitions made to and approved in writing by Village Management Services Inc. (VMS), Manor Alterations Division (MA) or, in the event of a variance from the mutual's alteration standards, the Architectural Control and Standards Committee (ACSC) and the United board. In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the property, the member agrees to comply with the mutual's governing documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member and/or all future mutual members. Contractor may be held responsible to repair mutual property damaged and/or modified in the course of its work without having obtained the approval to do so via a duly executed MC.
3. Parking of contractors' or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible, contractors' or other invitees' vehicles should be limited in number.
4. A City of Laguna Woods permit may be required as well as a clearance requirement from the South Coast Air Quality Management District (SCAQMD) (asbestos hotline, 909-396-2336). Prior to the issuance of an MC for alterations and/or demolition, the appropriate City of Laguna Woods permit number(s) must be submitted to the MA office located in the Laguna Woods Village Community Center. The city permit must be approved within the prescribed time frame, and a copy of the final permit must be submitted to MA.
5. Member hereby consents and grants to the mutual, MA, the Maintenance and Construction Department and their representatives a right of property entry at any time to inspect said property and its improvements and for the mutual and the department, including its representatives and contractors, to remedy any violation upon the property, including, but not limited to, removing trash and/or any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

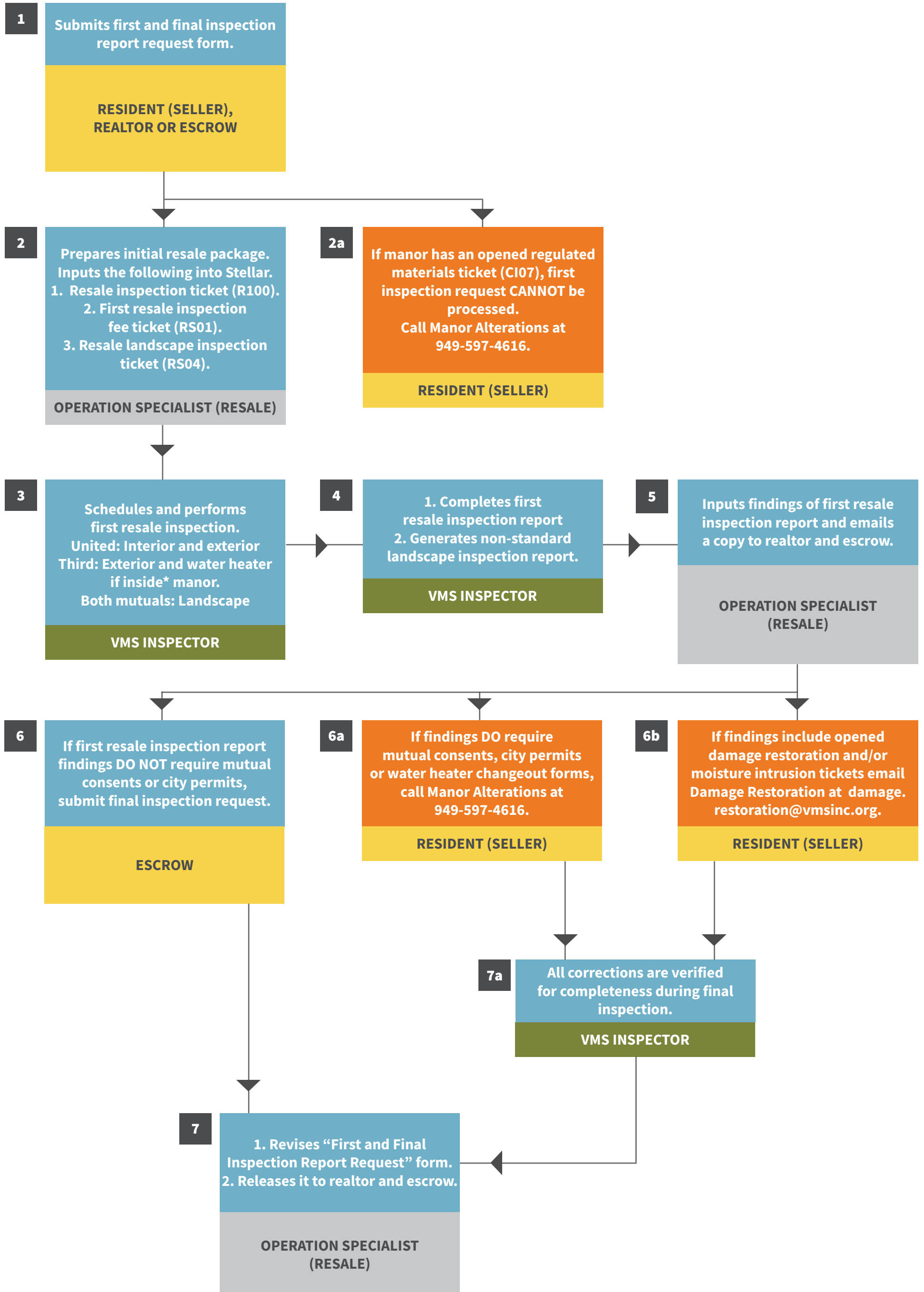
6. Subject to the Contractor Violation Policy, member and contractor shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents, any others who perform work on the property and any violation of the mutual's governing documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to mutual property and use of mutual property for storage of equipment or materials without prior approval. member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the mutual's rules and regulations; however, that does not relieve contractor from compliance with the rules due to ignorance or otherwise, as contractor will sign the MC for alterations and/or demolition as a condition to and requirement of any approval. Member shall be liable for any violation of the mutual's governing documents or for any damage caused by any invitee, including any fine, assessment or other charge levied in connection therewith; however, contractor is also responsible to repair all damage that was done in the execution of the alteration, consistent with item number two in this exhibit.
7. Member and contractor are responsible for following the gate clearance process in place to admit contractors and other invitees. See <http://www.lagunawoodsvillage.com>.
8. Member contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use mutual recreational facilities or other amenities while they are in Laguna Woods Village for performance of work in connection with the property.
9. All improvements must be installed in accordance with California State building code, and the published mutual architectural alterations standards, policies and guidelines. See <http://www.lagunawoodsvillage.com>.
10. During construction, work hours established by the mutual and the noise ordinance set forth in the City of Laguna Woods municipal code must be adhered to at all times. Except in an emergency, work hours from 8 a.m. to 5 p.m. on weekdays; no work is permitted on holidays and weekends.
11. During construction, both the MC for demolition, alterations and the city building permit must be on display for public view at all times in a location approved by MA.
12. No waste or materials associated with the construction may be dumped in Laguna Woods Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
13. Call the Security Services Department at 949-580-1400 to receive dumpster location approval. All dumpsters must conform to the policy for temporary containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.

14. Call Security at 949-580-1400 for portable bathroom placement approval.
15. The MC for alterations is expected to be completed within 90 calendar days after the date of approval, unless an application is submitted with fees and approved by MA for an extension or documentation is submitted with the MC that justifies the need for a period longer 90 days and MA has agreed to this extension in writing. If the MC has an established completion period of more than 90 days but less than 180 days, the date established by the MC shall govern. An extension for a maximum of an additional 90 calendar days beyond the maximum 180-day period may be granted at the request of the member prior to expiration and at the discretion of MA. The contractor shall not perform any work beyond this 180-day period or six months unless authorized by MA in writing.
16. Violations of the forgoing conditions or the mutual's governing documents (see <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping or working after hours, will result in disciplinary action, which could result in a stop-work notice, loss of privileges and/or severe fines to the member as presented in the Contractor Violation Policy.
17. Mutual member and his/her contractor shall indemnify, defend and hold harmless United and its officers, directors, committee members, employees and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from the mutual shareholder's improvements and installation, construction, design and maintenance of same.

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# MANOR ALTERATIONS RESALE INSPECTION PROCESS MAP



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# 6 TIPS TO EXPEDITE RESALE INSPECTIONS

1. **Order your mutual resale inspection as soon as you intend to list your manor for sale.** This No. 1 solution in preventing delay to an escrow closing date gives you time to review the report and resolve any outstanding requirements without the stress of a pending escrow closing date.
2. **Ensure you are authorized to order the first inspection.** This could mean you are the member or an authorized representative for the member or the member's trust/estate. Call Community Services at **949-268-2393**.
3. **Check the resident portal ([portal.lagunawoodsvillage.com](http://portal.lagunawoodsvillage.com)) for any outstanding work orders or manor tickets.** Find instructions on how to locate your work orders at [bit.ly/4937s4U](http://bit.ly/4937s4U), or watch a video tutorial at [bit.ly/4cg4BXo](http://bit.ly/4cg4BXo).
4. **Register undocumented alterations with your mutual if you have performed any without mutual consent or city permits.** The City of Laguna Woods building permit office requires a permit for electrical, plumbing, cutting into drywall and other alterations. Call Manor Alterations at **949-597-4616** to begin the mutual consent process.
5. **Make a list of preinspection checks, which are typically done at a resale inspection.** Maintain these even if your manor is not for sale to avoid last-minute repairs, including rodent-proofing HVAC chases, painting patio/balcony covers, repairing exterior water heater enclosures, fixing carport condensation panels if they are loose or broken and cleaning oil stains in carport/garages.
6. **Replace a water heater that is more than 10 years old (Third Mutual only).** All water heaters in service for 10+ years must be replaced during resale. Avoid delays by checking the age of your water heater and scheduling a replacement if it qualifies. To order a VMS replacement as a chargeable service, call Resident Services at **949-597-4600**. To use your own contractor for replacement, download the Third Mutual low-flow toilet and water heater form at [bit.ly/4ejEWPj](http://bit.ly/4ejEWPj), complete it and email it to [alterations@vmsinc.org](mailto:alterations@vmsinc.org).

## MOST COMMON TICKETS THAT DELAY RESALE

- **Open mutual consents (PA01, PA02, CI07):** Incomplete mutual consents for alteration work in progress/incomplete work, but final closing documents, like final city permits, have not been submitted to Manor Alterations. Call Manor Alterations at **949-597-4616**.
- **Correction notice (9316, 9377, 9378, IN110):** An unresolved correction notice requires correction and verification of compliance achieved. Call Manor Alterations at **949-597-4616**.
- **Damage restoration (CI03, MI01):** An unresolved damage or moisture intrusion event may require member action to close the order. Call Damage Restoration at **949-597-4490**.



## 6 TIPS TO EXPEDITE RESALE INSPECTIONS

### MOST COMMON TICKETS THAT DELAY RESALE

#### EVENT CODES

EVENT CODE	WORK CENTER	DESCRIPTION
PA01	925 - Manor Alterations	Application for mutual consent
PA02	925 - Manor Alterations	Application to demo for mutual consent
CI07	925 - Manor Alterations	Regulated materials evaluation
9316	925 - Manor Alterations	Moisture intrusion report of potential non-compliance
9377	925 - Manor Alterations	Report of potential non-compliance
9378	925 - Manor Alterations	Notice of required correction
IN110	925 - Manor Alterations	Stop work notice/Regulated materials
CI03	909 - Damage Restoration	Responsibility evaluation request
MI01	909 - Damage Restoration	Moisture intrusion event/Rain leaks/ Roof membrane

#### OTHER MAINTENANCE & CONSTRUCTION WORK CENTERS

904 - Maintenance Services

910 - Maintenance Operations

920 - Projects



## United Laguna Woods Mutual Resale Fee Schedule - 2025

Shareholders and prospective members shall pay the fees associated with the review, processing, and approval of any resale and non-escrow transfers.

<b>Membership Transfers (Resales and Non-Escrow)</b>	
Administrative Resale Processing Fee	\$350
Recording Memorandums for cash sales and non-escrow transfers	\$280
First Inspection Fee	\$360
Final Inspection Fee (if required)	\$110
Re-Inspection Fee (if required)	\$60
Escrow Cancellation	\$112
** Monthly Additional Occupancy Fee (for each person in excess of two, including caregivers)	\$50
Non-Escrow Transfer Fee	\$50

<b>GRF Fees</b>	
** Monthly Additional Occupant Fee (for each person in excess of two, with the exception of registered caregivers). (50% of the annual GRF Total Basic Assessment per manor per month – rounded to the nearest dollar). Must be paid in advance for the term of the sublease/lodger agreement. Effective January 1, 2025	\$119
Non-return of ID Card(s) for all resale, non-escrow transfer, leasing/rental, and occupancy (including caregiver) transactions	\$125
Trust Facilities Fee	\$7,500

\*\* General charge due from all residents when there are more than two occupants, whether or not a sublease or lodger rental is in place. All fees are subject to change as determined by the Board of Directors.

Additional fees may be applicable which may include, but are not limited to guest passes, care provider and other occupant ID cards and passes, RFID, etc.

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### Third Laguna Hills Mutual Resale Fee Schedule - 2025

Members and prospective members shall pay the fees associated with the review, processing, and approval of any resale and non-escrow transfers.

<b>Membership Transfers (Resales and Non-Escrow)</b>	
Administrative Resale Processing Fee	\$400
First Inspection Fee	\$250
Final Inspection Fee (if required)	\$90
Re-Inspection Fee (if required)	\$50
Escrow Cancellation	\$112
Resale HOA Certification – Standard	\$40
Resale HOA Certification – Non-Standard	\$150
**Monthly Additional Occupancy Fee (for each person in excess of two, including caregivers)	\$50
Non-Escrow Transfer Fee	\$50

<b>GRF Fees</b>	
** Monthly Additional Occupant Fee (for each person in excess of two). Must be paid in advance for the term of the lease/rental. (50% of the annual GRF Total Basic Assessment per manor per month - rounded to the nearest dollar). Effective January 1, 2025	\$119
Non-return of ID Card(s) for all resale, non-escrow transfer, leasing/rental, and occupancy (including caregiver) transactions	\$125
Trust Facilities Fee	\$7,500

\*\* General charge due from all residents when there are more than two occupants, whether or not a lease or rental is in place. All fees are subject to change as determined by the Board of Directors.

Additional fees may be applicable which may include, but are not limited to guest passes, care provider and other occupant ID cards and passes, RFID, etc.

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# YOUR MUTUAL RESALE FEES

## AT WORK



Laguna Woods Village

### 1. Initial Inspection Request

- On average, 150 inspections are in process at any given time.
- Resale operations specialist sorts 100+ emails daily from resaleinspections@vmsinc.org to identify first inspection requests (1 - 2 days).

### 2. Manor Research

- If a CI07 (regulated materials) ticket is open, seller's agent receives an email informing member (seller) to remit documentation to Manor Alterations to close ticket; request is postponed (up to 1 week).
- Resale operations specialist reviews form:
  - Correct mutual?
  - Completed correctly?
  - Signators who are not owners receive email request to contact Transfer/Estate Division.
  - If CI03/MI01 (damage restoration/moisture intrusion) tickets are open, an email is sent to Damage Restoration Division (2 - 3 days).

### 3. Archive, Material Assembly

- Resale operations specialist enters database and prints:
  - Most recent inspection history report
  - Permit/alterations list (Third and United)
  - Components list (United only)
- Tickets are created in database:
  - RI100 (resale inspection requested)
  - RSO1 (first resale inspection fee)
  - RS04 (resale landscape inspection completed) (1 - 2 days)

### 4. Generate Packet

- Resale inspection form completed; packet created for resale inspector for field work (1 - 2 days).

### 5. Schedule First Inspection

- Inspector contacts seller/agent to schedule; on average, 5 inspections are done per day:
  - If inspector leaves voicemail, they must follow up until confirmation of schedule (1 - 3 days).



## 6. Inspection

- Inspector identifies pertinent open tickets in database, annotates resale inspection form:
  - Helps inspector identify and close resolved tickets.
- Inspector reviews:
  - Exterior - e.g., windows (Third and United)
  - Nonstandard landscape items - e.g., citrus/fruit (Third and United)
  - Garages/Carports (Third and United)
  - Interior - **1 hour**, takes approx. **40 photos** (United)
  - Water heater only - **15 minutes**, takes approx. **10 photos** (Third) (**1 - 5 days**).

## 8. Prepare, Email First Inspection Report

- Resale operations specialist enters report data into Excel file consisting of an alterations and corrections list for which member is responsible.
- Resale operation specialist verifies mutual consent/city permit requests.
- Resale operation specialist emails first inspection report to escrow, agent.
- Seller addresses corrections before requesting a final report (**1 - 2 days**).

## 9. Reinspection (if required)

- Receive final inspection report request.
- If corrections existed that did not require an MC, operation specialist creates a correction-required handout for reinspection (**1 - 2 days**).

## 7. Prepare Draft Report

- Inspector prints RS01 (first resale inspection fee) ticket summary page, enters completion date and employee number, signs; attaches document to RS01 ticket.
- Inspector completes nonstandard landscape inspection report, attaches document to RS04 (resale landscape inspection completed) ticket.
- Inspector enters water heater information on cover sheet (manufacture year not clearly stated on appliance; inspector must locate using serial number).
- Inspector reviews previous inspection history reports; work that required a mutual consent (MC), if listed, is grandfathered:
  - Inspector assigns an MC number, enters and codes component information in database.
- If not listed in previous inspection history reports, and an MC is required, it is noted on coversheet with corresponding standard.
- List corrections that do not require an MC.
- Inspector creates a photo folder per inspection (**1 - 5 days**).

## 10. Report Issuance

- Final report issued if all corrections are completed, including resolved CI03/MI01 tickets (**1 - 2 days**).

### Process Times

Escrow, no issues: 20 - 30 days average

Escrow, open issues: 30 - 90+ days average



## FREQUENTLY ASKED QUESTIONS MANOR ALTERATIONS

### LEGEND

**Authorization of Agent Form for New Alterations/Resales** – Paperwork needed to authorize tenant/occupant or Seller’s agent to pull Mutual Consent on the homeowner’s behalf

**CSLB** – California State License Board

**City Permit** – The City’s approval to begin the work

**MA** – Manor Alterations

**MC** – Mutual Consent, HOA approval for alterations

**Member** – Manor member, member or shareholder

**ACSC** – Architectural Control and Standards Committee

### 1. What is an Alteration?

Any structural, functional or aesthetic change to the interior of a Unit, its electrical, plumbing or mechanical systems or the structural integrity of the building; or any physical, structural or aesthetic change to the exterior of a Unit.

### 2. What is the difference between a Mutual Consent and a City Permit?

A Mutual Consent (MC) is the HOA’s approval that your proposed alteration meets your Mutual’s requirements, and can be taken to the City of Laguna Woods to obtain permits prior to beginning work, or to begin work where no City permit is required. The City Permit is the City’s authorization to begin the work per City codes. The City will not provide their Permit without the approved MC application.

### 3. Who is authorized to pull a Mutual Consent (MC) application?

Only the property owner is authorized to pull the Mutual Consent. This includes the Non-member owner, Power of Attorney, or Trustee. However, they will need to be listed in our system as an authorized party. To get put into the system as an authorized party, please to contact **Craig Shelley** at Estate Services at **(949) 597-4225**.

### 4. I have a tenant who I wish to allow to do alterations on my behalf. What paperwork do I need to authorize them?

**A. New Alterations:** Should you wish to authorize your tenant or another party to act as your agent and perform alterations on your manor, you will need to submit an Authorization of Agent Form for New Alterations along with a copy of your state ID or Driver’s License. Should the job be estimated at over \$1,000.00, the form will need to be notarized. Please see [Authorization of Agent Form for New Alterations](#).

**B. Resales:** If the property owner, POA, or Trustee is unable to fill out and submit the Mutual Consent, they can have someone such as their seller’s agent act upon their behalf to pull a Mutual Consent (After the Fact or New Alterations). Please see [Authorization of Agent Form for Resale](#).



**5. Do you have a list of authorized vendors? Can you provide recommendations or referrals?**

No, neither United or Third Mutual provide a vendors list. As the property owner, you are solely responsible for researching and selecting your contractor. Please see the [California State License Board \(CSLB\)](#) to check your contractor's license and make sure they are properly bonded and are in good standing. You can also reach out to your Real Estate agent, as some do maintain lists of contractors who have done work in the Village before.

**6. May I perform an "Owner-Builder"/be my own contractor?**

- A. In United Mutual:** Owner-Builder is not allowed by the United Mutual Board. You will need to hire a licensed contractor to perform work, even if the alteration is less than \$500.00. United Mutual requires all work to be performed by a licensed contractor.
- B. In Third Mutual:** While you can obtain an MC as "Owner-Builder," the labor and materials will need to be valued under \$500.00 if you are to perform the work yourself. If the work is over \$500.00 or requires a City Permit, you will need to provide a list of licensed subcontractors and their Certificates of Liability (COLI).

**7. What is an Owner-Builder?**

It is a person who owns the property and acts as their own general contractor on the job, either performing the work themselves or has employees or subcontractors working on the project. The work site must be their principal place of residence that they have occupied for 12 months prior to the completion of the work.

**8. Does an Owner-Builder require a license?**

A license is not required if the owner meets the following criteria:

- A.** The owner-builder does the work himself or herself or through his or her own employees with wages as their sole compensation and the structure(s) is/are not intended for sale.
- B.** The owner-builder contracts with properly licensed subcontractor(s). (This exemption applies to the construction of a single-family residential structure and limits the number of structures intended or offered for sale to four or fewer in a calendar year.)
- C.** The owner-builder contracts with a General Building ("B") contractor. (The number of structures is then unlimited.)

**9. May "mud over" or scrape my popcorn ceiling?**

Yes, you may mud or scrape your popcorn ceiling with proper MC approval. However, the manors were built in the 1960s-1970s and used ACM (asbestos containing materials) so testing would be required. Please contact the City Building Department to get information regarding State and County guidelines.





**10. Do ceiling fans need an MC approval?**

Yes. All hard-wired electrical components require a Mutual Consent. Any holes cut into the ceilings or walls require a Mutual Consent. Further; all original ceilings in Laguna Woods Village have electrical heating elements running throughout the entire ceiling. Caution should be taken each time a screw penetrates the ceiling. If a screw comes in contact with the heating elements the entire heating system for that room is compromised. A separate heat source will be required for that room to meet building code requirements. The ceiling fan housing also requires being supported from a structural member above the ceiling surface.

**11. Do I need an MC approval to install electrical outlets?**

Yes. Prior to beginning work your contractor/electrician must contact the City of Laguna Woods Building Permits office to obtain all necessary permits for the work to begin.

**12. For microwave installation, is there a separate electrical permit for a designated circuit?**

Members can change out any appliance if they replace the existing appliance with one that is similar to the ampere rating of the original and no other change in electrical is required. If a new dedicated circuit is needed, then both a mutual consent and city permit for code compliance are required.

**13. Do I need an MC approval to replace a toilet? What about sinks, faucets, and shower heads?**

Any item that requires a city permit will require a mutual consent to be issued first, as evidence that the Mutual has provided approval to make alterations to your manor. Please check with the City of Laguna Woods Building Permits Office prior to making any changes to your interior components.

**14. Do I need mutual consent for a video doorbell or security camera?**

- A. Doorbells with cameras:** No MA approval needed. These devices are similar to “Ring” door bell and cameras that are battery operated devices temporarily mounted on to exterior so members are allowed to see the caller at or approaching the doorway entrance to the member manor only.

The device is still considered an Alteration, and it is your responsibility to its maintenance, wall damage, and removal for mutual building work.

- B. Security Cameras:** These devices similar to CCTV will require both a MC and Board approved Variance. This is due to the need for a higher understanding of the impact to adjacent neighbors, and effect on mutual property.



**15. May I paint the interior of my unit?**

Yes. No MA approvals are required to paint the inside of your manor.

**16. May I install a screen door on my front door without mutual consent?**

Yes, screen door installation is allowed without a mutual consent, including security screen doors. The new screen door will now be considered an alteration.

**17. Do I need a mutual consent for a mail slot in my front or garage door?**

No, but this change will make these doors alteration doors no longer maintained by the HOA. Add a note advising to contact the post office for specific requirements.

**18. Do I need mutual consent to install a peep hole in my front door?**

No. A peep hole can be installed in a front door without a mutual consent. However, this would be considered an alteration and the HOA would no longer maintain the door.

**19. Do I need a MC approval to replace my front door?**

Yes, a Mutual Consent is required to replace the front door. Please see: United Alteration Standards 11 – Doors (Exterior); Third Alteration Standard 10 – Exterior Doors.

**20. Do I need an MC approval to paint my front door?**

Yes. This will require a Mutual Consent Application. Please see standards for approved colors: United Alteration Standard 11 – Doors (Exterior); Third Alteration Standards 10 – Exterior Doors.

**21. Do I need a MC approval to install large appliances such as a dishwasher, microwave, garbage disposal from Manor Alterations?**

**A. In United:** A like-for-like alteration/permitless alteration is available (replacement only—not new installation). Visit [lagunawoodsvillage.com/residents/resident-services#manor-alterations](https://lagunawoodsvillage.com/residents/resident-services#manor-alterations) for more information.

**B. In Third:** No mutual consent is required for replacement(s) of appliances, as there is no major electrical or plumbing involved. It is simply a slide in, slide out.

**C.**

**22. Do I need a MC approval to replace kitchen and bathroom cupboards, vanities, and countertops?**

**A. In United:** A like-for-like alteration/permitless alteration is available (replacement only—not new installation). Visit [lagunawoodsvillage.com/residents/resident-services#manor-alterations](https://lagunawoodsvillage.com/residents/resident-services#manor-alterations) for more information.

**B. In Third:** A mutual consent is required if you disturb ACM drywall/joint compound during the demolition phase or if you are changing the layout of the



vanities/countertops, which may require city permit to bring the area into code compliance with electrical requirements.

**23. Do I need a MC approval to replace a glass shower enclosure and door?**

- A. In United:** Only the glass enclosure is considered here. No wall or floor tile is to be modified. In United, a like-for-like alteration/permitless alteration is available (replacement only—not new installation). Visit [lagunawoodsvillage.com/residents/resident-services#manor-alterations](https://lagunawoodsvillage.com/residents/resident-services#manor-alterations) for more information.
- B. In Third:** No MC is required.

**24. Do I need a MC approval to re-tile my shower/bath area?**

Yes. The bonding agent and the bonding material supporting the existing tile may contain asbestos. Removal of the existing tiles will expose these products, triggering a required asbestos inspection. The asbestos protocols are totally handled by the City of Laguna Woods Building Department. The mutual consent is required for Building Department permit processing and for Manor Alterations records.

**Exceptions:** If it can be verified that any previous tile modifications have no asbestos present, then any subsequent tile replacements would NOT require a Mutual Consent or City Inspection.

**25. May I get my carport condensation panels repaired or replaced?**

Carport condensation panels are no longer allowed as an addition; however, you may repair them if possible. As such, replacement panels are no longer permitted. Repairs may be done as a chargeable service through Resident Services at (949) 597-4600.

**26. May I install tile on my patio or replace the tile that is already there?**

Yes, you may install tiles on your patio or replace the tiles that are already there by applying for a Mutual Consent application. No City Permit is required. Please see: United Alteration Standard 15 – Floor Coverings Exterior (Balconies and Patios) and Third Alteration Standard 11 – Exclusive Use Common Area Floor Coverings.

**27. May I paint or stain my garage floor/patio?**

In United and Third Mutual, concrete staining and epoxy coatings are allowed with Mutual Consents for Garages, Patios, Atriums, and Courtyards. Painting of concrete is prohibited in both mutuals. Please see: United Alteration Standard 15 – Floor Coverings Exterior (Balconies and Patios) and Third Alteration Standard 11 – Exclusive Use Common Area Floor Coverings.

## 28. HVAC changeouts

### **A: Do I need a City Permit for a like-for-like Central HVAC system changeout?**

Both an MC approval and a City Permit will be required for a like-for-like change out for a Central HVAC system changeout. This includes a Mini Split HVAC system.

### **B: May I remove my old packaged terminal air conditioner (PTAC)/In-wall Heat Pump unit?**

- **In United:** For a like-for-like swap out of a plug-and-play PTAC units that only require detachment from the wall and sliding out of the existing sleeve, you can use a United Permitless Alteration form (United Mutual Only) for a previously permitted alteration that is currently installed).
- **In Third:** An MC approval is required.

## 29. My water heater is totally non-functional. May I replace it and get the permit afterward?

For emergency non-functioning water heaters, replacements can take place immediately; however, a Mutual Consent approval and City Permit will be required to be obtained within the next business day after the work has been performed.

**A. In United:** A mutual consent approval is required.

**B. In Third:** Completion of a Water Heater (Like-for-Equivalent) Replacement Form is needed. Please contact the Manor Alterations department ([alterations@vmsinc.org](mailto:alterations@vmsinc.org)) to obtain a copy of the form.

## 30. The member has already replaced the heat pump/AC/water heater because it was not working. Do they have to pay the \$300 penalty fee?

**A. In United:** A simple notification of the changeout is allowed without penalty for wall heaters/AC units, due to water heater replacements requiring the City Permit, a MC must be obtained the next business day or the penalty will be assessed.

**B. In Third:** A Mutual Consent form will be required within the next business day for a heat pump/AC changeout, as it more than likely requires a City Permit. A Water Heater change-out form should be submitted the next business day. Please contact Manor Alterations to obtain a copy of this form.

## 31. What qualifies a MC approval to be expedited?

In general, no MCs are expedited as they are processed on a first-come, first-serve basis in an effort to be fair to everyone in Laguna Woods Village. Some mutual consents require more extensive research and review, or may require a Variance therefore a longer review and process are needed. Some utilitarian-based applications such as a simple water heater replacement, or A/C replacement, may be issued within a day due to urgency as well as comfort, and health considerations.



**32. Is a MC required to change out the flooring?**

If you are removing existing flooring (i.e. carpet) without disturbing the original black mastic, and vinyl flooring beneath—including the tack strips and base boards—then no Mutual Consent is required. MA suggests you lift the carpet and see if it was placed on the vinyl tile or over black mastic. If the original black mastic and vinyl flooring are disturbed, then a Mutual Consent for Alterations will be required. For approval, you do not need to provide Asbestos Testing or abatement. Please contact the City Building Department to find out County and State guidelines.

**33. If I have to get a MC approval to remove the carpet over the vinyl tiles, why do I need an alteration permit to install new flooring?**

At present, no mutual consent is required to install new flooring. However, you will need to take in sound considerations. For more information, please see: United Mutual – Interior Flooring Policy, Resolution 01-18-115, and Third Mutual – Interior Hard Surface Flooring, Resolution 03-10-188. AS per policy, the Member may be held responsible to remove new flooring should it not meet noise level requirements.

**34. Can the removal of Wall Mounted Cabinetry be done by a General Contractor or is a special asbestos abatement contractor required?**

Yes. Wall-Mounted Cabinetry can be removed by a General Contractor, as long as proper precautions are taken to minimize enlargement of existing screw hole penetrations during the removal process. If however the removal process leaves large holes in the drywall or ripped drywall sections, then an Asbestos Inspection Protocol would be required from the City of Laguna Wood Building Department and may lead to the requirement of a city permit and MC for any asbestos handling abatement.

**35. Does a dog door require a mutual consent?**

No MC approval is required for installing a dog door in the front door; however, during Resales, if the buyer agrees to the alteration, they will take responsibility for the alteration. If a pet door requires cutting drywall and/or stucco, then a mutual consent will be required and the member must contact the City of Laguna Woods Permits office to determine what City requirements must be fulfilled.

**36. Do I need a Mutual Consent application for installing stepping stones?**

No Mutual Consent for stepping stones; however, you will need to speak with the Landscaping (Resident Services) to determine the requirements of your Mutual and complete their application form.

**37. Do I need a Mutual Consent to install a chair lift?**

Yes, due to being a non-standard alteration, a chairlift on the exterior of a manor will require a Variance. Please reach out directly to [alterationvariances@vmsinc.org](mailto:alterationvariances@vmsinc.org) for information regarding the Variance process.



**38. What is the difference between a Mutual Consent and a Variance?**

A Mutual Consent is a form required for common types of alterations that the Board has pre-approved and is used to document the installation of the alteration, and that City requirements have been met via a city permit when applicable. A Variance is a request for a non-standard alteration, which must receive approval by the corresponding Mutual's Board prior to a Mutual Consent being able to be issued for the alteration(s).

**39. How long does it take to receive approval for a Mutual Consent and/or Variance?**

Processing times vary due to the scope of work involved, incomplete submissions and if the alterations being requested are standard or non-standard.

**A. For a Mutual Consent:** 7-10 business days for complete application.

**B. For a Variance:** With a complete application, it will take approximately 30-60 days from the date of submission. The Variance process is longer than the Mutual Consent Process due to the Architectural Control and Standards Committee (ACSC) and Board of Directors has to review each request individually and grant approval. Variance requests must be submitted no later than 30 days prior to the next ACSC meeting.

**40. Do I need a Mutual Consent to remove my patio cover?**

No MC approval is required for the removal of a patio cover. You will only require a Mutual Consent if you are replacing the patio cover. Please see: United Alteration Standard 20 – Aluminum Patio Cover and Standard 34 – Awnings; Third Alteration Standard.

**41. Do I need a Mutual Consent to install a charger for an Electric Vehicle?**

This will require a Mutual Consent for the installation. However, they will need to run the powerline from your house directly to the carport. Please see: United Standard 41 – Electric Vehicle Charging Stations; Third Standard 44 – Electric Vehicle Charging Stations.



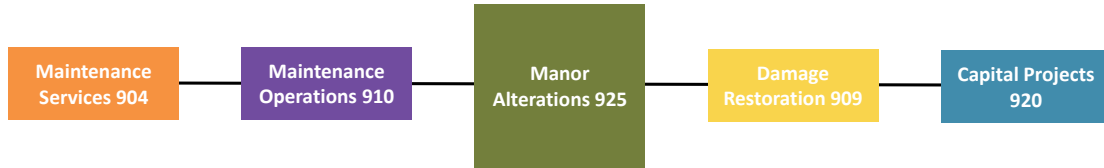
## Agenda

- Maintenance & Construction (M&C) department structure
- What is a mutual consent?
- Standards and resources
- What is a variance?
- What is “after the fact”?
- How to access information
- Protocols and process
- Alteration fees
- Current work hours/holidays
- City of Laguna Woods
- Handouts
- Open questions

Village Management Services, Inc.

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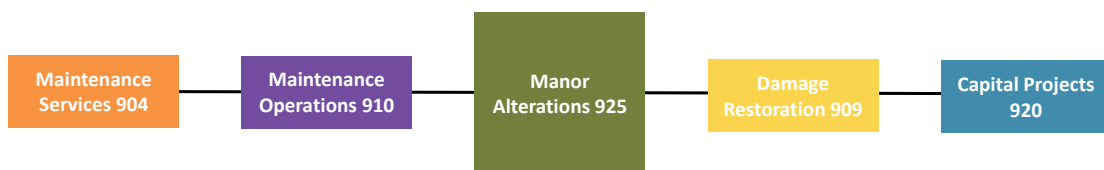
## M&C Department Structure



- **Maintenance Services - 904:**
  - GRF facility equipment, HVAC, commercial appliances, pool and spa pumps, heaters and boiler room equipment
  - Plumbing and electrical maintenance and repairs
  - Appliance repair and replacement

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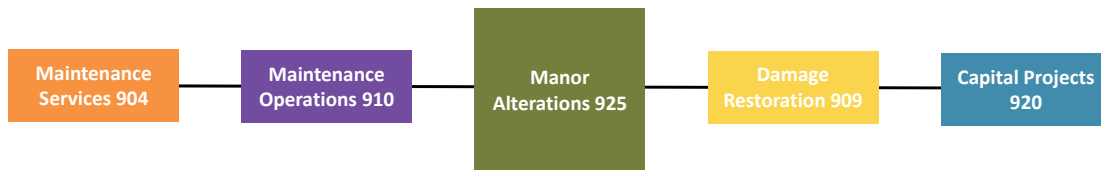
## M&C Department Structure



- **Maintenance Operations - 910:**
  - Dry rot program
  - Fumigation
  - Prior to paint and exterior paint programs
  - Interior and exterior carpentry service requests

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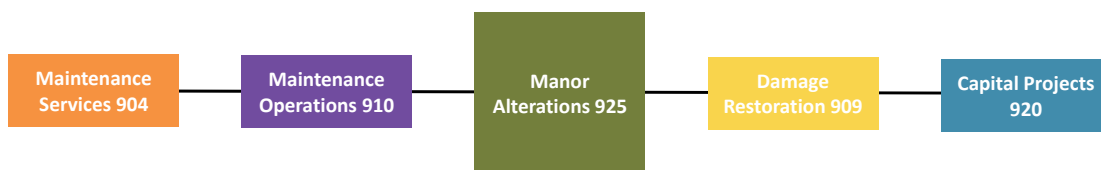
## M&C Department Structure



- Manor Alterations - 925:
  - Mutual consents
  - Variances
  - Resale inspections

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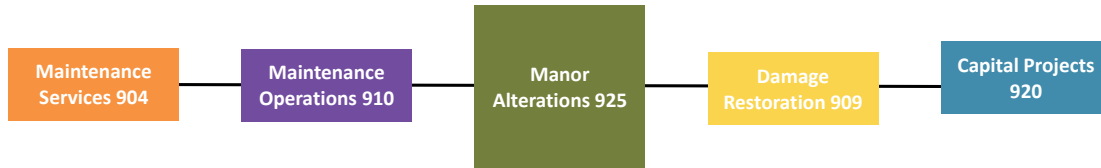
## M&C Department Structure



- Damage Restoration - 909:
  - Moisture intrusion remediation
  - Mutual property restoration
  - Reimbursement cases/hearings

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## M&C Department Structure



- Capital Projects - 920:
  - Building structures, foundation inspection and repairs
  - Street paving and concrete repairs
  - Roof repairs and replacements
  - Clubhouses renovations
  - Golf driving range renovations
  - Performing Arts Center renovations

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## What Is a Mutual Consent?



- Document stating that proposed alteration meets current mutual rules, regulations, standards and policies
- Members must first request a mutual consent application
- Application is available in person at Manor Alterations office (24351 El Toro Road) and online at [lagunawoodsvillage.com](http://lagunawoodsvillage.com)

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## What Is a Mutual Consent?



- Call Laguna Woods City Building Permits Office at 949-639-0500 to verify whether your approved mutual consent work requires a city permit:
  - Additional plan detail requirements and documentation may be required by city
- Mutual consents may require appropriate scaled, detailed plans, engineering and equipment specifications
- Real-time mutual consent status link available on Manor Alterations landing page at [lagunawoodsvillage.com](http://lagunawoodsvillage.com)

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## Standards and Resources



- Both mutuals have established guidelines to maintain building efficiency and architectural integrity
- Referred to as “standards” and “policies”
- Visit [lagunawoodsvillage.com](http://lagunawoodsvillage.com) to view most recent version

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## What Is a Variance?



- Request for a nonstandard alteration or “exception to the rule”
- All efforts should be taken to bring proposed projects into compliance with existing standards or standard plans
- Prior to applying for a variance, determine whether alteration plans align with “preapproved” standard alteration plans:
  - More than 300 standard alteration plans
  - Visit [lagunawoodsvillage.com](http://lagunawoodsvillage.com) to view
- Variance application is in addition to mutual consent application package, which requires board approval for a nonstandard alteration request
- Plans submitted must include scaled existing and proposed floor plans, with dimensions along with elevations and pictures for exterior alterations

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## What Is a Variance?



- All variance submittals are required to go through a three-stage process:
  - Completed variance application package is submitted and reviewed by variance inspector
  - Variance is submitted and reviewed for endorsement by Architectural Control and Standards Committee
  - Variance is submitted and reviewed for a decision by mutual’s board
- Nonrefundable \$150 fee is required
- Email [alterationvariances@vmsinc.org](mailto:alterationvariances@vmsinc.org) to submit variance

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## What Is 'After the Fact'?



- After the fact (ATF) is a term that applies when discovered work is unauthorized by mutual
- An ATF fee is applied to manor
- Work stops until mutual consents and/or city permits are obtained:
  - Work completed *may* need to be removed

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## How to Access Information



**Processes and standards**

**Mutual consent**

You can check your mutual consent application status and learn how the mutual consent process works by clicking the links below.

[Mutual consent application status](#)

[Mutual consent process map](#)

**Resale inspections**

Discover how resale inspections work, learn best practices to expedite the resale process and how your mutual inspection fees are used by clicking the links below.

[Tips to expedite resales](#)

[Resale inspection process map](#)

[Your mutual inspection fees at work](#)

**Contractor overview**

Contractors must abide by several guidelines in order to work in the Village. Learn more about the process of hiring a contractor, work hours, passes and parking, as well as compliance information below.

[Learn more about hiring a contractor](#)

[Contractor requirements](#)




[Third standard 1 general requirements](#)

[United standard 1 general requirements](#)

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## How to Access Information



 <p><b>FAQs and documents</b></p> <p>Find Manor Alterations frequently asked questions and access documents by clicking the links below.</p> <p>FAQs <a href="#">▶</a></p> <p>Documents <a href="#">▶</a></p>	 <p><b>Third Mutual frequently used documents</b></p> <p>Architectural standards <a href="#">▶</a></p> <p>Alteration fee schedule <a href="#">▶</a></p> <p>Mutual consent application <a href="#">▶</a></p> <p>Mutual consent sample application <a href="#">▶</a></p> <p>Third toilet/water heater form <a href="#">▶</a></p>	 <p><b>United Mutual frequently used documents</b></p> <p>Architectural standards <a href="#">▶</a></p> <p>Alteration fee schedule <a href="#">▶</a></p> <p>Mutual consent application <a href="#">▶</a></p> <p>Mutual consent sample application <a href="#">▶</a></p> <p>United like-for-equivalent alterations <a href="#">▶</a></p>
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## Protocols and Process



- Owner/Builder (not allowed in United):
  - Must have GL insurance \$500K/\$1M
- Contractors must be CSLB licensed, bonded and insured:
  - New user-friendly certificate of insurance (COLI)
  - Must use CSLB-licensed subcontractors
- Handyman:
  - In California, handymen are allowed to legally perform work without a license if total job cost, including both labor and materials, is less than \$1,000
  - No additional VMS insurance required

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## Alteration Fees



- Alteration fees are valuation based
- Mutual consent fees can range between \$50 and \$750; refer to your mutual's fee schedule at [lagunawoodsvillage.com](http://lagunawoodsvillage.com)

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## Current Work Hours/Holidays



- Monday - Friday: No work to begin prior to 7 a.m.; no work permitted after 5 p.m.; work without excessive noise (e.g., painting, carpet installation) permitted from 7 a.m. to 5 p.m.
- Saturdays: Work with construction-related noise (e.g., cutting tile, hammering, power tools) permitted 9 a.m. to 3 p.m.; work without excessive noise (e.g., painting, carpet installation) permitted from 7 a.m. to 5 p.m.
- Sundays, holidays: No work permitted whatsoever
- 2025 holidays:
  - Thanksgiving: Nov. 27 and 28
  - Christmas Eve: Dec. 24
  - Christmas Day: Dec. 25

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## City of Laguna Woods



- Building permits will not be processed without an approved mutual consent
- Asbestos related issues are handled through City of Laguna Woods Building Department
- Chris Seely, Building Official:
  - 949-639-0521, [buildingofficial@cityoflagunawoods.org](mailto:buildingofficial@cityoflagunawoods.org)

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## Handouts



Mutual Consent Process Map	Mutual Consent Fee Schedule for United
Mutual Consent Fee Schedule for Third	United Architectural Standards Listing
Third Architectural Standards Listing	Third Mutual Consent Package Sample
6 Tips Before Hiring a Contractor	COLI – Certificate of Liability Insurance
Contractor Requirements Flyer	Contractor Violation Policy
Resale Inspection Process Map	6 Tips to Expedite Resale Inspections
Resale Inspection Fee Schedule for United	Resale Inspection Fee Schedule for Third
Your Mutual Fees at Work	Frequently Asked Questions

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# Questions

Please see Manor Alterations staff  
for questions regarding a specific manor

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