



Laguna Woods Village®

THIRD MUTUAL CONSENT APPLICATION INSTRUCTIONS

To obtain a Mutual Consent, print out and/or download required attachments. Follow the list of requirements below necessary to provide a complete permit submission. All submissions must be sent to Manor Alterations Department (alterations@vmsinc.org).

1. Complete the **Mutual Consent for Application**
 - Include the homeowner's property address within the community, signature, and valid email address **(ATTACHMENT A) (See Third Alteration Sample Packet)**
 - The Contractor information and signature will be required
 - Review the Standards for Alterations for your proposed alteration. If a proposed alteration does not follow the standard provided, a Variance Request will be required in advance of alterations. **(ATTACHMENT B) (See Third Alteration Sample Packet)**
 - Include specifications of any products/items to be installed in your unit as related to your proposed alteration. **(ATTACHMENT C) (See Third Alteration Sample Packet)**
2. Provide a copy of the floor plan that corresponds to your unit/manor including-
 - Scope of work inclusive of all proposed alterations
 - Highlighted location of all proposed permit items within scope of work noted on floor plan **(ATTACHMENT D) (See Third Alteration Sample Packet)**
 - Manor Alterations will determine if Structural Drawings will be required dependent upon the proposed project
3. If the **General Contractor** listed on your application has not conducted work within the community, we will require a **Certificate of Liability** indicating the appropriate parties as "Additionally Insured", minimum coverages noted for General Liability, Worker's Compensation, and Automobile Insurance. **(ATTACHMENT E) (See Third Alteration Sample Packet)**
4. Payment will be obtained after your completed permit is approved by a Manor Alterations Inspector.
5. Please email complete submission to initiate the processing of your documents.

Once approved, Manor Alterations will contact the applicant via the information provided to collect credit card payment for the permit fees. An email will be sent with your approved documents to all parties involved to continue the process at the city.

THIRD: MUTUAL CONSENT FOR MANOR ALTERATION(S)

Manor: 1234-A San Sebastian
 Street: Main Street
 Mutual Consent#: _____
 Final Inspection: _____
A copy of the signed City Final Inspection is required for final acceptance by the Mutual
 City Demo Permit#: _____
 Final Inspection: _____
 City Permit#: _____
 Final Inspection: _____
 NAF: _____
 Expiration Date of Mutual Consent: _____

The undersigned, a member of Third Laguna Hills Mutual, a California nonprofit corporation (hereafter referred to as the "Corporation"), hereby requests permission of the Corporation to make the alteration described below to the Manor. Said alteration (hereafter sometimes referred to as the "Work") shall be performed subject to the terms and conditions printed on the reverse side hereof, which terms and conditions set out the responsibilities of the member and the below named contractor. Per Resolution 01-10-88, hereby designates that the member below is a representative of the Mutual exclusively for the purpose of obtaining a City of Laguna Woods building permit for the alteration proposed herein.

ATTACHMENT A

MANOR MODEL NAME: San Sebastian

PLAN #: A

PROPERTY OWNER / APPLICANT INFORMATION Check Box if You Are Providing Fee Payment

Name: John Q. Homeowner

Phone: (949) 123-4567

Street Address: 1234-A Main Street

City: Laguna Woods

State: CA

Zip Code: 92637

Email: john.q.homeowner@gmail.com

CONTRACTOR INFORMATION Check Box if You Are Providing Fee Payment

Company Name: A Standard Contractor Co.

Phone: (949) 987-6543

Street Address: 123 A Street

City: Aliso Viejo

State: CA

Zip Code: 92656

Email: james.t.contractor@gmail.com

License: 123456

Class: A-50

Expires: 1/1/23

PROJECT DESCRIPTION:

VALUATION: \$

Installation of (2) velux 14" sun tunnels within dining area, spaced 10 linear feet apart.

ALTERATIONS TO BE COMPLETED PER MUTUAL RULES & STANDARD SECTION(S):

PER MUTUAL APPROVED STANDARD PLAN(S) #

PER MUTUAL APPROVED VARIANCE RESOLUTION #

MEMBER: IMPORTANT, PLEASE READ CAREFULLY

- The Mutual's Alteration process requires the Mutual Member receive a copy of the Mutual Standard to which the requested Mutual Consent applies, where applicable. To ensure compliance, the Member's signature below indicates receipt of the Standard is necessary, and a Mutual Consent will not be issued without this required signature.
- I understand that I will be in non-conformance if my contractor and/or I do not conform to Mutual Rules and Regulations, and that I may be subject to Member Disciplinary Procedures, including the possibility of a fine in accordance with the Schedule of Monetary Penalties.
- I understand and agree that I am responsible for all risks in connection with all alteration(s) or improvement(s), including but not limited to, the costs of removing, altering, protecting, or replacing the same as may be necessary or appropriate to conduct Corporation business.
- I understand and agree that I am responsible for, and bear all costs in connection with all alteration(s) or improvement(s), including any costs associated with remediation, clean-up or repair of mutual owned or controlled property, caused by or resulting from alteration(s) or improvement(s) or the installation thereof.

I understand that I am responsible for the actions of my contractor(s), I understand that I am responsible for any damages, claims, fines, or violations that result from the actions or inactions of my contractor(s) or guest(s).

I will ensure that items requiring inspections will not be covered WITHOUT INSPECTION AND APPROVAL by the CITY OF LAGUNA WOODS BUILDING INSPECTOR. I also understand that the Mutual Consent will EXPIRE within 180 DAYS.

Signature of Member: John Q. Homeowner

Date: 1/15/23

CONTRACTOR: IMPORTANT, PLEASE READ CAREFULLY

I have received, read, understand, and agree to follow and confirm to all current Mutual Standards regarding this alteration(s). In addition, I am a contractor licensed pursuant to the laws of the State of California and agree to perform the work subject to the terms and conditions printed on the reverse side of this application. I will ensure that items requiring Inspections will not be covered **WITHOUT INSPECTION AND APPROVAL** by the **CITY OF LAGUNA WOODS BUILDING INSPECTOR**. I also understand that Mutual Consent will **EXPIRE** within **180 DAYS**.

Signature of Contractor: John Q. Contractor

Date: 1/20/23

IMPORTANT NOTICE: ASBESTOS-CONTAINING MATERIALS THAT ARE BASICALLY INERT AND HARMLESS IF NOT DISTURBED MAY BE PRESENT IN CEILINGS, FLOORS AND OTHER BUILDING COMPONENTS. LEAD-BASED PAINT MAY BE PRESENT. MEMBER AND CONTRACTOR ARE CAUTIONED TO TAKE ALL REASONABLE AND PRUDENT MEASURES TO PROTECT PERSONS AND PROPERTY BEFORE DISTURBING SUCH MATERIALS. MEMBER AND CONTRACTOR AGREE TO ABIDE BY ALL FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, CODES AND REGULATIONS RELATING TO DISTURBANCE, REMOVAL AND/OR DISPOSAL OF ALL REGULATED MATERIALS; AND UPON REQUEST, COPIES OF DISPOSAL MANIFESTS WILL BE PROVIDED TO THE CORPORATION.

FOR OFFICE USE ONLY

This application is approved and said member is hereby granted permission to make the above described alteration(s).

Alteration Code(s):

VMS, Inc. Permit Fee Penalty Fee (If Applicable) Paid By Date

ATTACHMENT A

1. No person shall make any alteration of, make any addition to, or remove any portion of any real property owned, managed or controlled by the Corporation without the prior written approval of the Corporation as evidenced by a Mutual Consent for Manor Alteration issued by the Corporation.
2. Concurrently with this application the following documents shall be submitted together with the required fee pursuant to Clause 10 herein.
 - a) A description of the proposed work to be performed.
 - b) If the proposed work is to be performed by a contractor, a copy of the written agreement covering the proposed work, executed by the member and the contractor.
 - c) If applicable, a building permit issued by the City of Laguna Woods, County of Orange, State of California.
 - d) Upon its submission, each of said documents shall be incorporated by reference and become a part of this application.
3. Any contractor who proposes to perform the work:
 - a) Shall be licensed as a contractor as required by the laws of the State of California, and shall present evidence thereof to the Corporation.
 - b) Shall maintain in force Commercial General Liability insurance and Workers Compensation insurance satisfactory to the Corporation. A performance bond and a labor and material bond may be required at the option of the Corporation.
 - c) Shall complete, verify and file with the Corporation, a Construction Contractor Pass Application, and shall promptly notify the Corporation of any change in the information provided in such application until such time as any warranties required in Clause 5 shall expire.
 - d) Shall identify all vehicles and persons with involved in performance of the work in a manner satisfactory to the Corporation, and surrender upon demand of the Corporation all identification credentials (such as passes which may have been supplied to them); such credentials remaining at all times the property of the Corporation.
 - e) Hereby warrants that all work to be performed shall be free from defective workmanship and materials for a period of not less than one year from the date of final inspection by the Corporation as provided herein.
 - f) Shall perform all work to the satisfaction of the Corporation, subject to the inspection of the Corporation as provided in Clause 10 herein.
 - g) Shall indemnify and hold harmless the Corporation, Golden Rain Foundation of Laguna Woods, their officers, directors, agents and sureties pursuant to Clause 7 herein.
 - h) Shall keep the real property on which the work is to be performed free of all liens or claims pursuant to Clause 11 herein.
 - i) Shall comply with all applicable laws, plans, rules and regulations pursuant to Clause 4 herein,
 - j) Shall promptly commence the work and diligently prosecute the same to completion without unduly inconveniencing the member and neighboring residents and upon completion, file a request for final inspection with the Corporation on a form provided by the Corporation.
4. The member and contractor, shall comply at all times with:
 - a) All federal, state and local laws, ordinances, codes and regulations.
 - b) The plans and specifications or other description(s) of the work submitted to and approved by the Corporation.
 - c) All rules and regulations of the Corporation and all other corporations owning, controlling or managing real property in Laguna Woods Village@, Laguna Woods, California.
5. The member and the contractor, if any, hereby agree that any defects due to faulty materials or workmanship which appear within one year, or such greater period may be guaranteed by the contractor, if any, after final inspection by the Corporation, shall be corrected by and at the expense of the member and/or the contractor, if any, as the Corporation may, in its sole discretion, determine.
6. The member and the contractor, if any: understand that Village Management Services, Inc. is the Management Agent for the Corporation and is authorized act on behalf of the Corporation and to approve any application for Mutual Consent for Manor Alteration, if it complies with the requirements established by the Corporation. Notwithstanding any other provision herein, the Managing Agent is authorized to disapprove any application or revoke any approval after issuance if, in the sole judgment of the Management Agent, such disapproval or revocation may be in the best interest of the Corporation.
7. The member and the contractor, if any, agree to indemnify, defend and hold harmless the Corporation, Golden Rain Foundation of Laguna Woods, their officers, directors, agents and sureties from any and all claims, liens, liabilities, costs, expenses, fines, penalties or fees arising out of the work, including attorney's fees and court costs as may be incurred in defending against any such claims, liens, liabilities, costs, expenses, fines, penalties or fees.
8. Approval of this application shall not be deemed to create any right to approval of any other such application on the part of the member.
9. Approval of this application shall not create any right to the approval of any other application involving the same or similar work proposed to be performed by such contractor.
10. Concurrent with this application the member shall pay the current fee pursuant to the schedule of fees as determined by the Corporation from time to time. The Corporation may inspect and inquire into the status the work and may make a final inspection within 30 days after receipt of a written request for final inspection on a form provided by the Corporation from the member or contractor. No inspection by the Corporation shall constitute a waiver of any right of the Corporation or a release of any obligation or duty of the contractor or member hereunder, or warranty that the work has been completed properly or complies with applicable laws, ordinances, codes or regulations.
11. The real property on which the work is performed shall be kept free from liens or claims of mechanics, material men, subcontractors and others connected with the work. The contractor, if any, agrees to waive all rights for liens for any amount claimed to be due to the contractor from the member and agrees to execute release(s) of liens or other documents as requested by the Corporation, converting all work, labor and materials, including equipment and fixtures of all kinds, performed or furnished in connection with the work.
12. The contractor, if any, agrees that the issuance of a Mutual Consent for Manor Alteration shall constitute permission to the contractor, his subcontractors, agents and employees to Laguna Woods Village®, Laguna Woods, for such purposes and times as are reasonable and necessary for the prompt and efficient performance of the work. Such permission may be revoked by the Corporation at any time, with or without cause, as to the contractor, his subcontractors, agents and employees, or as to any of them.
13. The member hereby agrees to be responsible for the maintenance and repair of all additions or alterations created by the work, except for damage caused by or resulting from the gross negligence or willful misconduct of the Corporation, its officers, directors or agents. Notwithstanding any provision of any agreement between the contractor and the member to the contrary, no more than ninety per cent (90%) of the contract price for the work shall be paid by the member until the work has been completed and inspected as provided herein. In the event that legal proceedings are instituted by or against the Corporation in connection with this application or the work, the member and the contractor jointly and severally agree to pay the Corporation all costs and expenses of such proceedings including reasonable attorney's fees. The member and the contractor, if any, understand that Village Management Services, Inc. is the Management Agent for the Corporation and is authorized act on behalf of the Corporation and to approve any application for Mutual Consent for Manor Alteration, if it complies with the requirements established by the Corporation. Notwithstanding any other provision herein, the Managing Agent is authorized to disapprove any application or revoke any approval after issuance if, in the sole judgment of the Management Agent, such disapproval or revocation may be in the best interest of the Corporation.

Signature of Member: _____

Date : _____ Revised on 06/06/2024
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Laguna Woods Village®

ALTERATION STANDARDS

To review the Alteration Standards for your Mutual Consent Application and/or Demolition Application, follow the list of instructions below.

1. Visit our website www.lagunawoodsvillage.com and click the "Residents" tab. Within the dropdown menu, click on "Manor Alterations" tab.



Login

Search...

[Amenities](#) ▾
 [Neighborhoods](#) ▾
 [Residents](#) ▾
 [News](#) ▾
 [Calendars](#) ▾
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 [How Do I?](#)

Residents Home

All Boards

Governance

- Golden Rain Foundation
- Third Laguna Hills Mutual
- United Laguna Woods Mutual
- The Towers Mutual 50
- Village Management Services
- Board Meeting Videos

Services

- Cable Television
- Internet Services
- Manor Alterations**
- Resident Services
- Social Services
- Vehicles & Decals
- Financial Services
- Maintenance & Landscaping
- Reservations
- Security Services
- Transportation Services
- Village TV (TV6)

2. Scroll down to your Mutual's assigned tab denoted in PURPLE

UNITED ARCHITECTURAL STANDARDS

Manor Alterations

- [MANOR ALTERATION FEE SCHEDULE](#)
- [MEMBER GUIDELINES FOR ALTERATIONS \(THIRD MUTUAL\)](#)
- [MEMBER GUIDELINES FOR ALTERATIONS \(UNITED MUTUAL\)](#)

United Architectural Standards

- [LAGUNA WOODS VILLAGE TRACT MAP](#)
- [ALTERATION FEE SCHEDULE EFFECTIVE 6-22-2020](#)
- [MUTUAL CONSENT FOR MANOR ALTERATIONS FEES](#)
- [UNITED ARCHITECTURAL REVIEW PROCEDURES 2015](#)
- [UNITED RESALE CORRECTION POLICY](#)
- [UNITED UNAUTHORIZED ALTERATION FEE](#)
- [INTERIOR INSPECTION OF UNOCCUPIED UNIT POLICY](#)
- [CLOSETS AND INTERIOR PARTITION WALLS POLICY](#)
- [TEMPORARY CONTAINER POLICY](#)
- [ALTERATION OF SOFFITS AND SUSPENDED CEILINGS POLICY](#)
- [TABLE OF CONTENTS FOR UNITED STANDARDS](#)



THIRD ARCHITECTURAL STANDARDS

- [UNITED SECTION 40 ROLL-UP EXTERIOR SHADES \(SUN SCREENS\)](#)
- [UNITED SECTION 41 ELECTRIC VEHICLE CHARGING STATIONS](#)
- [UNITED SECTION 42 SOLAR PANELS 2 STORY BUILDINGS](#)
- [UNITED SECTION 43 BATHROOM SPLITS](#)
- [UNITED SECTION 44 FENCING - VINYL](#)

Standard Plans

Third Architectural Standards

- [LAGUNA WOODS VILLAGE TRACT MAP](#)
- [ALTERATION FEE SCHEDULE EFFECTIVE 6-22-2020](#)
- [MUTUAL CONSENT FOR MANOR ALTERATIONS FEES](#)
- [THIRD ARCHITECTURAL REVIEW PROCEDURES](#)
- [THIRD RESALE CORRECTION POLICY](#)
- [THIRD UNAUTHORIZED ALTERATION FEE](#)
- [ALTERATION OF ATTICS, SOFFITS AND SUSPENDED CEILINGS POLICY](#)
- [CLOSETS AND INTERIOR PARTITION WALLS POLICY](#)
- [EXPIRATION FOR ALTERATION PERMITS POLICY](#)
- [LOW FLOW TOILET STATEMENT OF COMPLIANCE](#)
- [SOLAR GUIDELINES: SOLAR PANELS, TWO-STORY BUILDINGS](#)
- [TEMPORARY CONTAINER POLICY](#)
- [SECTION 1 GENERAL REQUIREMENTS](#)

3. Scroll down to the Alteration Standard relating to your proposed alteration.
Example: Installing (2) Skylights within Dining Room

- [UNITED SECTION 15 FLOORCOVER](#)
- [UNITED SECTION 16 FENCES - WROUGHT IRON](#)
- [UNITED SECTION 17 PATIO GATES AND COURTYARD DOORS](#)
- [UNITED SECTION 18 GUTTERS DOWNSPOUTS](#)
- [UNITED SECTION 19 MODESTY PANELING BALCONY](#)
- [UNITED SECTION 20 PATIO COVER - ALUMINUM](#)
- [UNITED SECTION 22 PATIOSLAB](#)
- [UNITED SECTION 24 SKYLIGHT](#)
- [UNITED SECTION 25 TUBULAR SKYLIGHT INSTALLATIONS](#)
- [UNITED SECTION 26 SOLARIUM](#)
- [UNITED SECTION 27 SOFTWATER](#)
- [UNITED SECTION 28 STORAGE CABINETS](#)
- [UNITED SECTION 29 WASHER DRYER](#)



4. Review the Alteration Standard to confirm materials, application, regulations, and potential product information. If your proposed alteration does not conform to a Standard Alteration, it may require a Variance.

ALTERATION STANDARD EXAMPLES:

**STANDARD 25: TUBULAR SKYLIGHT INSTALLATIONS**

SEPTEMBER 1995

REVISED SEPTEMBER 2003, RESOLUTION 01-03-131

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

REVISED FEBRUARY 2019, RESOLUTION 01-19-21

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 DEFINITION

2.1 "Tubular skylight" refers to skylights with a cylindrical roof-mounted light collector typically consisting of an acrylic lens set in a metal frame. A reflective sun scoop in the rooftop assembly directs sunlight into a metal or plastic tube with a highly reflective interior coating. The reflective tube guides sunlight to a diffuser lens mounted on the interior ceiling surface that spreads light throughout the room.

2.2 Tubular skylights are sold under several different brand names. For the purpose of definition, some of the more common brand names include: Solatube, Daylight, Solar Bright, Sun-Dome, Sun-Tek, True Light, etc.

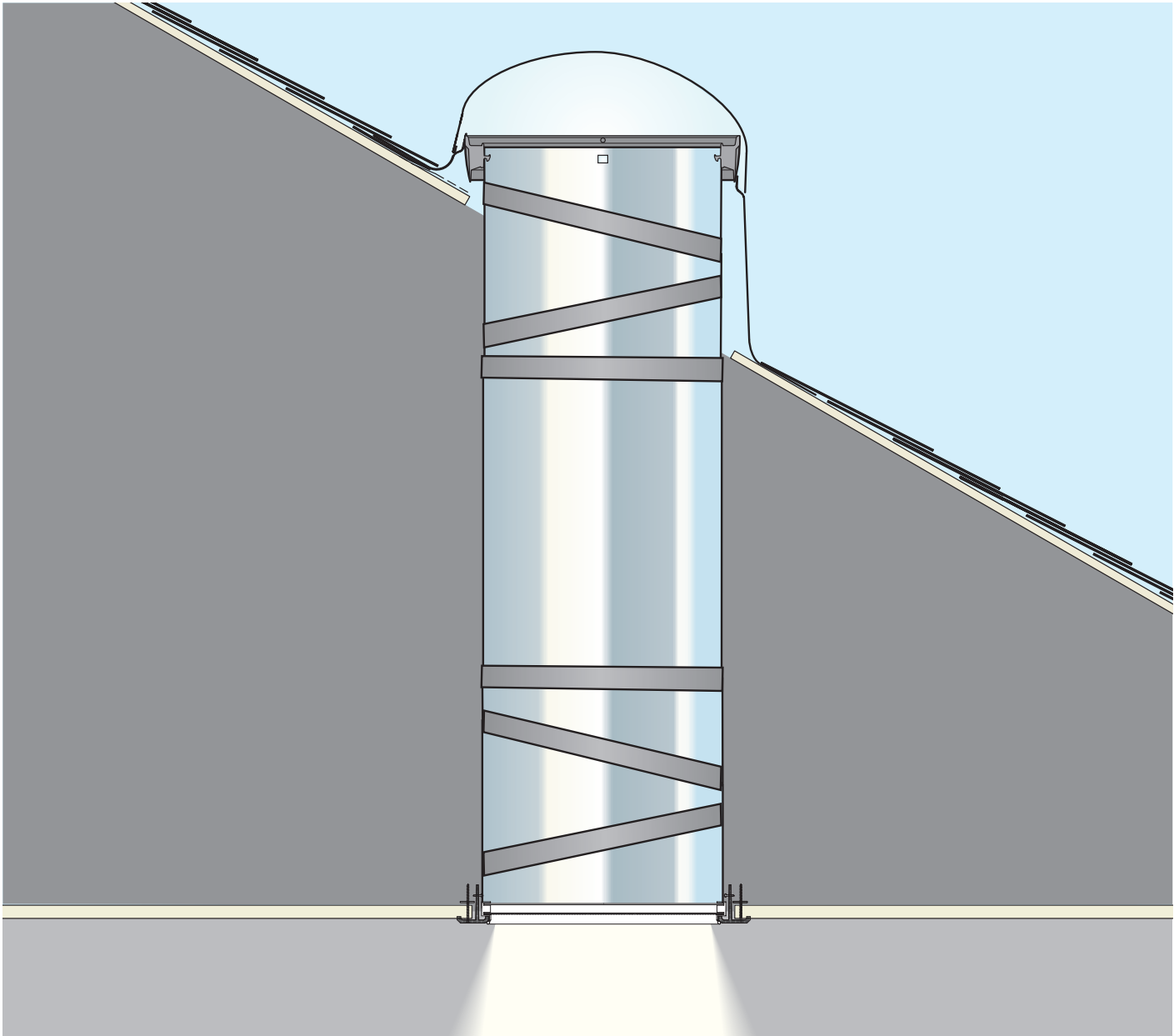
3.0 APPLICATIONS

3.1 Tubular skylight installer shall guarantee in writing, the watertight integrity of the skylight, tube and related roof area for 5 years from date of installation, and shall repair, without charge to owner, any such defects.

3.2 All roofing work shall be in strict conformance with current building codes and any applicable Mutual Standard Drawings.

3.3 No units shall be installed with the edge of the tubular skylight flashing within 12" of any vent, ridge or vertical structure.

TGR/THR/TMR



ENGLISH: Installation instructions for rigid sun tunnel TGR/THR/TMR

ESPAÑOL: Instrucciones de instalación para túnel solar rígido TGR/THR/TMR

FRANÇAIS : Instructions d'installation du tunnel de lumière rigide TGR/THR/TMR



General Notes

ATTACHMENT C

1. This drawing emphasizes the THR pitched flashing VELUX SUN TUNNEL Skylight. It illustrates a general arrangement layout (plus recommendations) for a VELUX THR installation in a 14-60 degree roof pitch application utilizing either a suspended acoustical tile or grid ceiling installation.
2. The architectural/structural design and specifications for the inclusion of a tubular daylighting device, such as the VELUX THR, in any roofing/ceiling application is determined and provided by others. The design criteria includes, but is not limited to design loads, structural configurations, structural framing member sizes and material, architectural finishes and integration with the roofing/ceiling systems of the building. VELUX assumes no responsibility or liability in the design, construction and performance of a building structure by others.
3. Dimensions shown are nominal, unless indicated otherwise.
4. THR 010 0000 nominal diameter is 10". THR 014 0000 nominal diameter is 14".
5. Maximum tunnel length is 20'. Minimum tunnel length is 16".
6. Ceiling rough opening cut for 010 = 10 $\frac{3}{4}$ ", 014 = 14 $\frac{3}{4}$ ".
7. Minimum 1 1/4" clearance required around ceiling rough opening, to fit trim ring.



THR Components

THR 014 0000/THR 010 0000

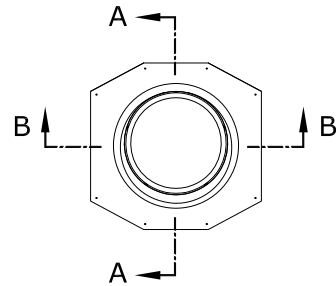
- Acrylic Dome
- Counter flashing assembly
- Hardware bag
- Option
 - THR 014 1000/THR 010 1000 Impact Polycarbonate dome
- 24"/.61m Rigid tunnel
- (2) 11.5"/.29m Rigid elbows
- Tape for tunnel joints
- Hardware bag
- Ceiling ring assembly with crackle over frosted diffuser
- Gasket material for diffuser
- Hardware bag
- Options
 - ZTC 014 0002US-Prismatic diffuser
 - ZTC 014 0003US-Fresnel diffuser

Option: ZTC 014/ZTC 010 0041US Energy kit

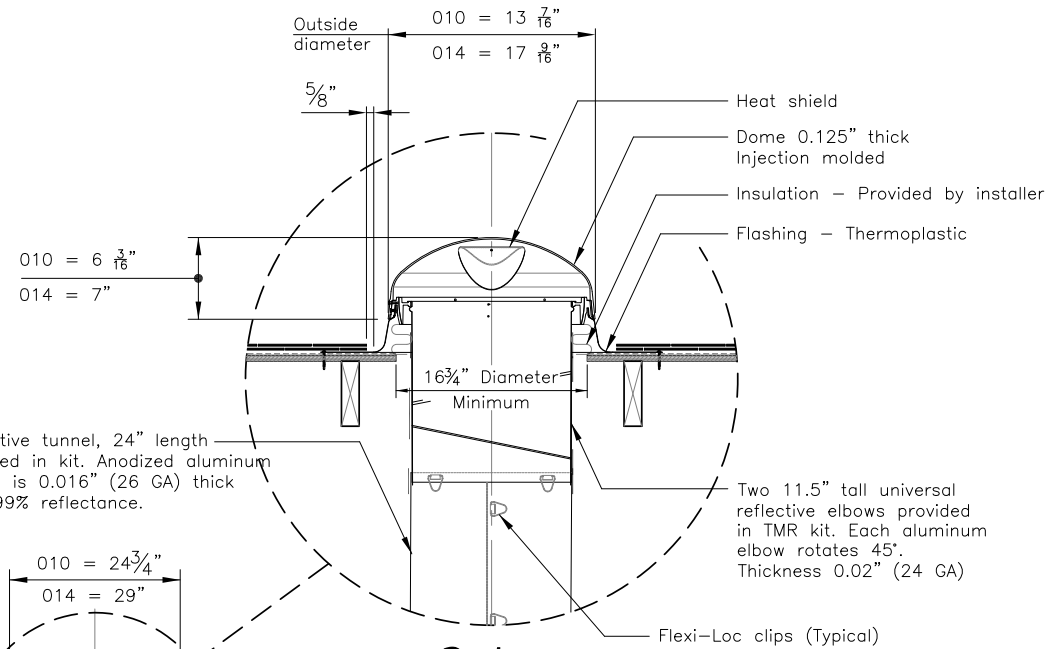
- Residential energy kit (Heat shield & quad diffuser)

Option: ZTR 014/ZTR 010 Rigid Tunnel Extensions

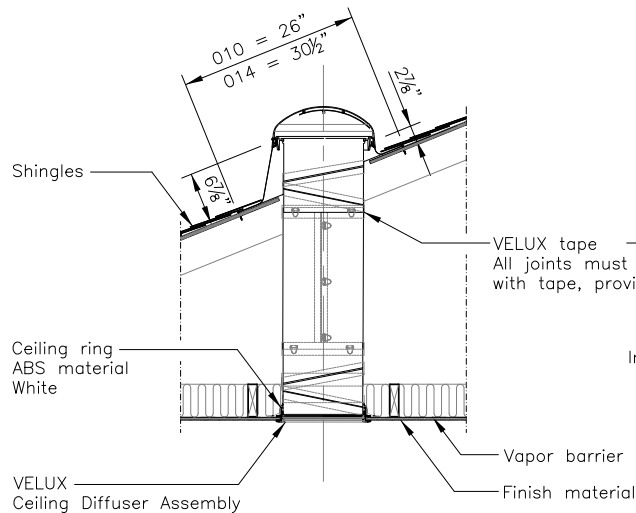
- ZTR 014/ZTR 010 0002 24"/.61m Rigid tunnel
- ZTR 014/ZTR 010 0004 48"/1.22m Rigid tunnel
- ZTR 014/ZTR 010 0006 72"/1.83m Rigid tunnel
- ZTR 014/ZTR 010 0012 144"/3.66m Rigid tunnel
- ZTR 014/ZTR 010 0024 288"/7.32m Rigid tunnel



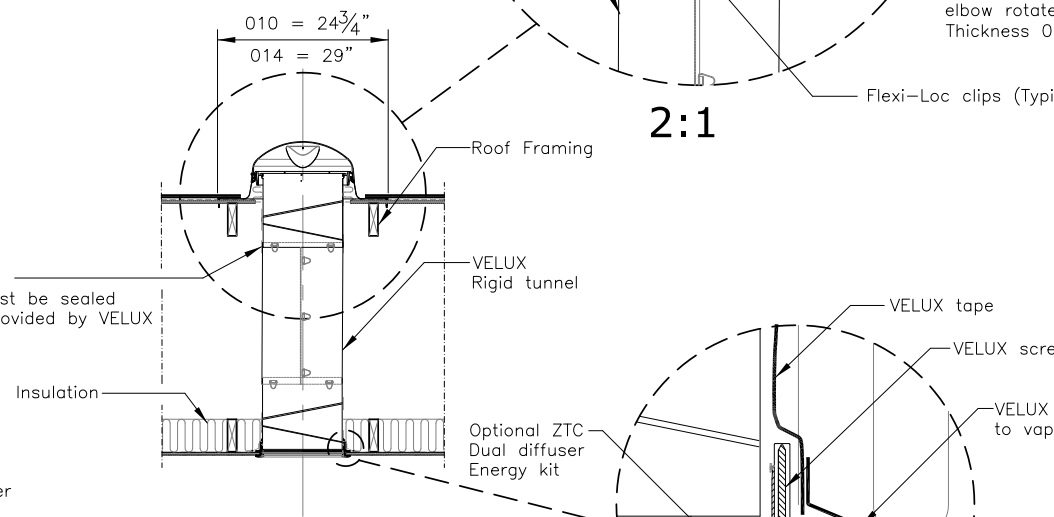
Plan View



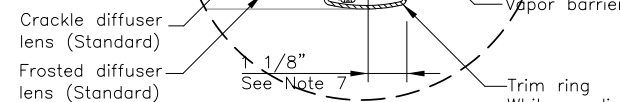
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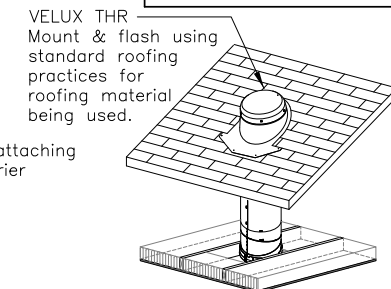
Section A-A



Section B-B



10:1



General Arrangement Layout

VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1-800-88-VELUX
www.VELUXUSA.com

THR - Residential SUN TUNNEL

Date: June 7, 2017

Created by: CNJ

TGC/TMC Product Data Sheet

Starting Production Code: BF06 (June 2016)



Description	General	An engineered day lighting system consisting of a field assembly of an exterior frame/roof flashing unit and an interior diffuser system joined by a rigid, reflective tunnel. The system is capped with an acrylic or polycarbonate tall dome with Sun Curve (22") or low profile dome (14") and diffuses the light with an interior Round to Square ceiling adaptor with an acrylic diffuser or a round diffuser sytem.
	Installation	
Installation	Instructions	Installation instructions included in every box. VAS 453607
	Applications	Flashing - G90 Galvanized flashing with water diverters for composite shingles, thin wooden shakes, slate, or membrane type roofing material.
	Roof Pitch	0° to 60° (TGC 0° to 30°; TMC 14° to 60° recommended)
Compatibility	Flashings	Flashing is built on to the unit.
	Interior Accessories (Optional)	ZTB - Decorative Diffuser
		ZTC 0041US - Energy kit (for insulation at ceiling level)
		ZTC 0401US- Energy kit (for insulation at roof level)
		ZTP - Daylight Controller
		ZZZ 233 - Dimmer Power Supply
	Exterior Accessories (Optional)	ZZZ 192 - Exterior Fire Band
		ZTR - Additional rigid tubing available in 2', 4', and 6" lengths.
		ZTQ - Security bars
		ZTZ 211 - Rotating coupler
		ZTE - Rotating elbows
		ZTY - Vapor barrier (for use with THC)
		ZTA - Turret extender
		ZTZ 203 - Suspension wire kit
		ZTM - Tile Flashing for Pitched Sun Tunnels (TMC Only)
ZTZ 209 - Diffusion Enhancer		
Materials	Dome	92% transparent impact resistant acrylic with UV absorbers or polycarbonate
	Flashing	G90 Galvanized metal low profile flashing (TGC) projects 4" above the roof deck and is available in 14" and 22". G90 gvanized metal pitched flashing (TMC) allows for a horizontal dome installation when installed on a pitched roof and projects 9" above the roof deck and is available in 14" only.
	Diffuser Assem (Rd to Sq)	1/8" thick White Acetal copolymer or Kynar (plenum rated), Available with Fresnel, Prismatic or Frosted diffuser
	Diffuser Assem (Drywall)	22" or 14" Round - White ABS Thermoplastic ceiling ring, dual diffuser system with a 1.5 mm clear secondary acrylic diffusion panel, Dia. 350.5 mm (014), Dia. 551 mm (022) and a 3 mm primary acrylic diffusion panel in either frosted, prismatic, or fresnel , Dia. 350.5 mm (014), Dia. 551 mm (022).

ATTACHMENT C

Materials Cont.	Diffuser Assem (Open Ceiling)	22" Round Polycarbonate/Acrylic alloy frame with either frosted, prismatic, or fresnel single lens.	
	Ceiling Ring Gasket	Triple sealing flexible vinyl.	
	Rigid Tubing	Highly reflective silver coated aluminum, 98% reflective	
	Rigid Elbows	45° Rotating elbows, 11.5" tall, 0.02" (0.51 mm) thick	
	Tape	2" wide Aluminum tape	
	Screws	1" Self fastening screws for fastening dome and lower reflective elbow.	
	Tunnel clips	Flexi-Loc clips	
Sizes	Standard Sizes	TGC - 14" and 22" diameters TMC - 14" diameter	
	Tunnel lengths	Maximum	20'
		Minimum	16"
	Dome 014	Thickness = 1/8" or 3mm, Height = 6 15/16" or 176.5mm, Outside diameter= 17 9/16" or 446.2mm, Inside diameter = 16 7/8" or 429.5mm.	
	Dome 022	Thickness = 1/8" or 3.2 mm, Height = 16-5/16" or 415 mm, Outside diameter= 25-5/8" or 650.2 mm, Inside diameter = 25" or 633.7 mm.	
	Flashing 14"	29.00" x 29.00" (736.5mm x 736.5mm)	
	Flashing 22"	37" x 37" (940mm x 940mm)	
Ceiling Ring Size	14" Models		22" Models
	Inside Diameter = 356.5 mm, Outside Diameter = 426 mm.		Inside Diameter = 557.5 mm, Outside Diameter = 627 mm.
Certification	Air/Water/Structural	<input checked="" type="checkbox"/> Hallmark <input type="checkbox"/> TDI <input type="checkbox"/> IAPMO-ES	<input checked="" type="checkbox"/> Florida <input type="checkbox"/> Miami Dade <input type="checkbox"/> LA Research Report
	Thermal (Energy Models)	<input checked="" type="checkbox"/> U-Factor <input type="checkbox"/> Energy Star Option	<input checked="" type="checkbox"/> SHGC
Warranty	Complete Product	10 years from the date of purchase, VELUX warrants that the SUNTUNNEL skylight will be free from defects in material and workmanship	
Changes from Earlier Versions	Exterior	Introduce Flexi-Loc system, Sun Curve, Tall Dome, New elbows	
	Interior	New accessories - Decorative diffuser, plenum rated accessories	
Type Sign	Example	48BD11A	
	Location	Sticker located on the black intermediate ring.	
Other Information	Features & Benefits	Great source of natural light, for spaces where regular skylights are not as practical or where diffuse light is desired.	

ATTACHMENT C

ENGLISH:

Contents of packaging:

- 1 Dome
- 2 Flashing
- 3 Pivot ring
- 4 Upper elbow
- 5 Rigid tunnel section
(additional sections are available)
- 6 Lower elbow
- 7 Ceiling ring
- 8 Diffuser (primary and secondary)

Plastic bag:

- Screws
- Tape
- Tunnel clips
- Foam gasket

ESPAÑOL:

Contenido del paquete:

- 1 Cúpula
- 2 Tapajuntas
- 3 Anillo pivotal
- 4 Codo superior
- 5 Sección de túnel rígido
(secciones adicionales disponibles)
- 6 Codo inferior
- 7 Anillo del cielo raso
- 8 Difusor (principal y secundario)

Bolsa plástica:

- Tornillos
- Cinta
- Sujetadores para túnel
- Empaquetadura de gomaespuma

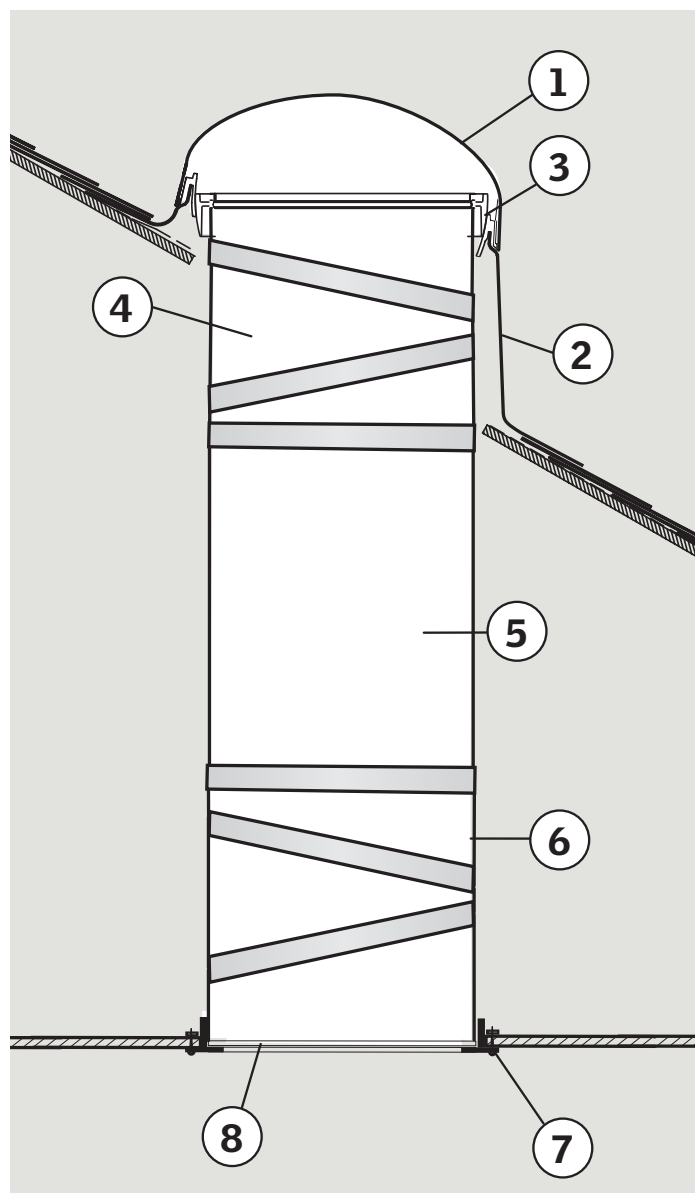
FRANÇAIS :

Contenu de l'emballage :

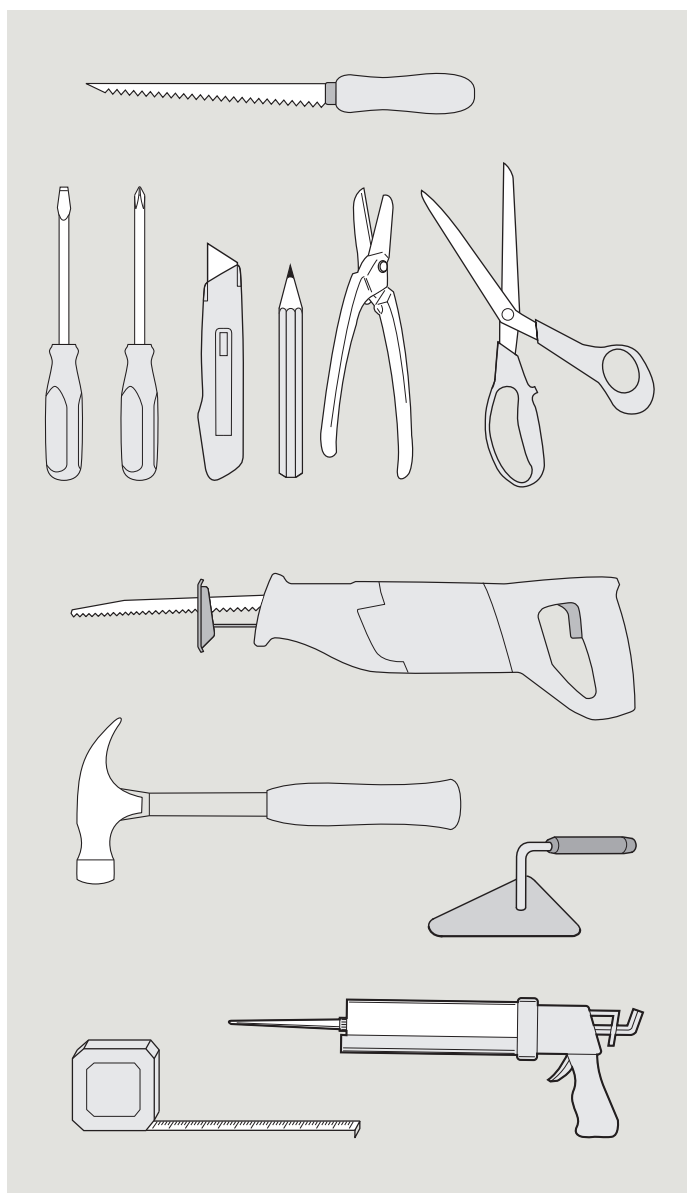
- 1 Dôme
- 2 Solin
- 3 Anneau pivotant
- 4 Coude supérieur
- 5 Section de tunnel rigide
(sections additionnelles disponibles)
- 6 Coude inférieur
- 7 Anneau de plafond
- 8 Diffuseur (primaire et secondaire)

Sac de plastique :

- Vis
- Ruban
- Attaches du tunnel
- Joint en mousse



TOOLS · HERRAMIENTAS · OUTILS



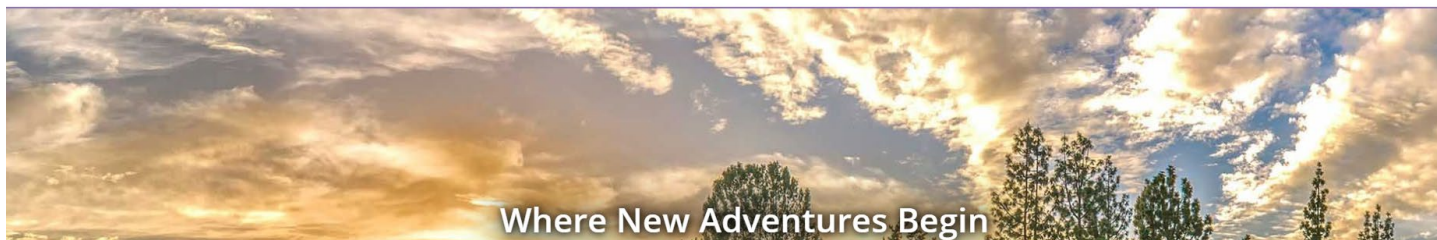


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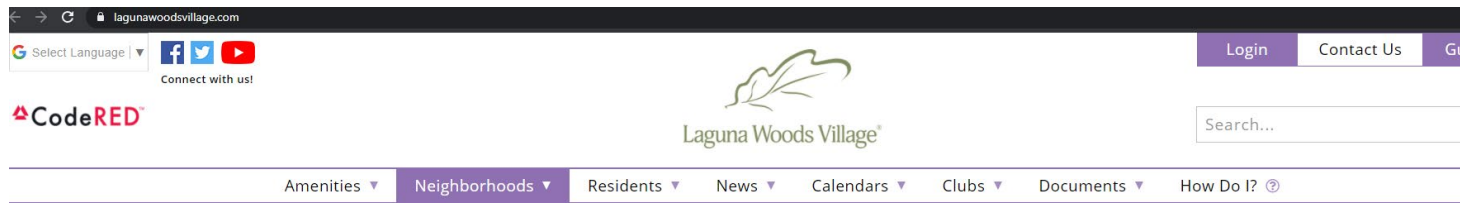
LOCATING YOUR FLOOR PLAN

To obtain a required floorplan for your Mutual Consent Application and/or Demolition Application, follow the list of instructions below.

1. Visit our website www.lagunawoodsvillage.com and click “Neighborhood” Tab





2. Under “Sales & Leasing” Click “Floor Plans”




Neighborhoods Home

The Neighborhoods

- 

Third Laguna Hills
Condominium living with golf course views.
- 

United Laguna Woods
Co-op units with panoramic views.
- 

The Towers
The ultimate in highrise, carefree living!

Sales & Leasing

- Floor Plans**
- Realtor & Escrow Information
- Golden Rain Foundation
- Third Laguna Hills
- United Laguna Woods
- The Towers Mutual 50



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3. Click on the Purple Tab for “Third Laguna Hills” or “United Laguna Woods ” to search for your plan.
 - You may narrow your search by selecting the corresponding number of bedrooms, square footage, and/or parking.



Home / Neighborhoods / Floorplans



THE TOWERS
at Laguna Woods Village

Community Third Laguna Hills United Laguna Woods The Towers

Bedrooms 1 2 3 Square Feet < 1000ft 1000ft + Parking Carport Garage Underground

Clear Filters

- Co-ops = United Mutual
- Condos = Third Mutual

Red Highlighted Section indicates location of Asbestos Removal

X Mark indicates location of skylights

San Sebastian

Approximate Gross Internal Area = 88.5 sq m / 953 sq ft

SAMPLE

<https://www.lagunawoodsvillage.com/neighborhoods/floorplans>

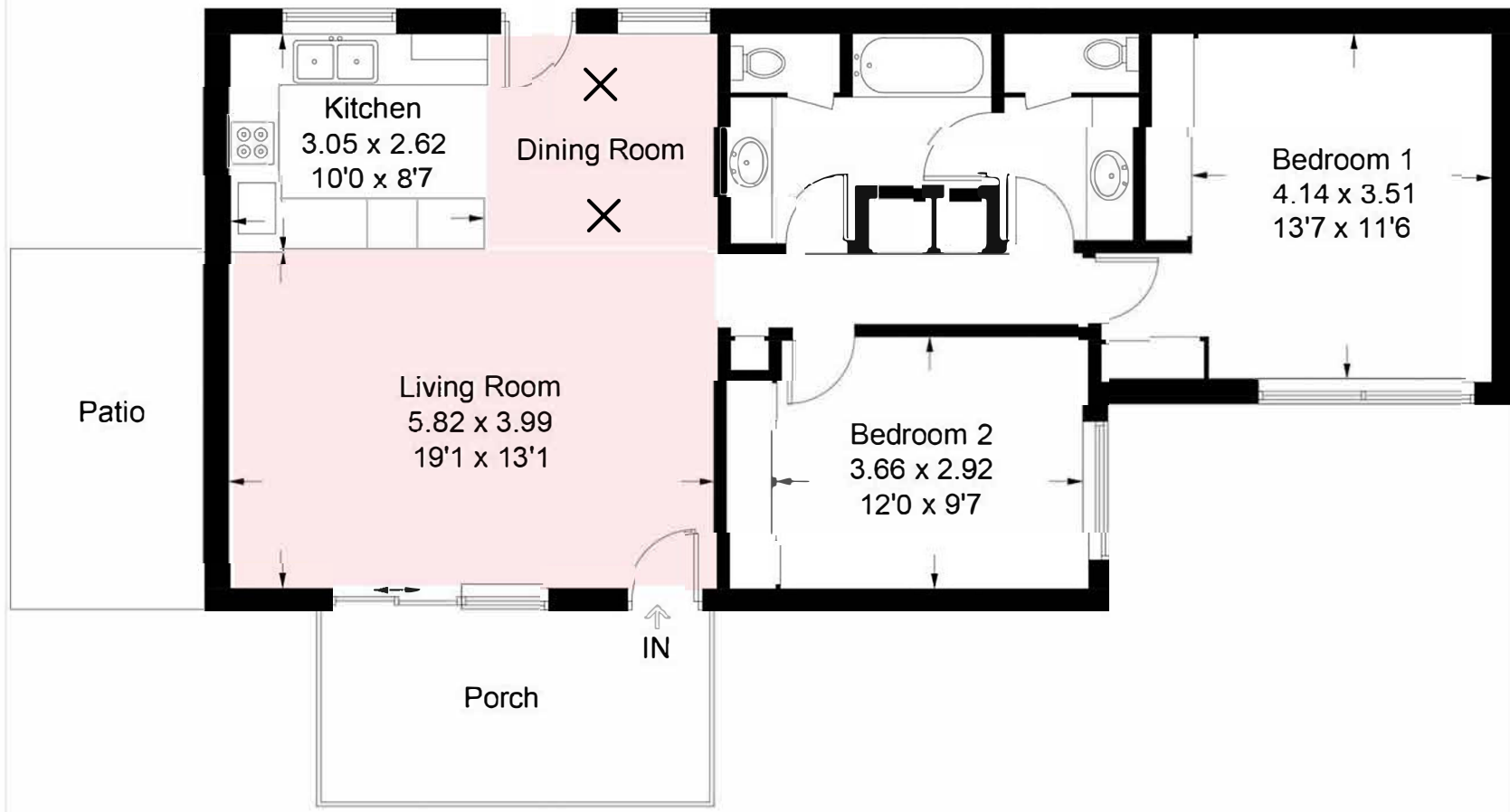


Illustration for identification purposes only, measurements are approximate, not to scale. FloorplansUsketch.com © 2017 (ID367257)



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Certificate of Insurance Sample

CERTIFICATE OF LIABILITY INSURANCE				DATE (MM/DD/YYYY) 5/25/2023		
<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.</p> <p>IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. IF SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).</p>						
PRODUCER ACME Insurance & Associates Insurance 10148 Riverside Drive Toluca Lake, CA 91602		CONTACT NAME: Manor Alterations PHONE (A/C, No. Ext.): (949) 597-4616 FAX (A/C, No.): (949) 597-4316 E-MAIL ADDRESS: alterations@vmsinc.org				
		INSURER(S) AFFORDING COVERAGE		NAIC #		
		INSURER A : Insurance Company		00000		
		INSURER B :				
		INSURER C :				
		INSURER D :				
		INSURER E :				
		INSURER F :				
INSURED Smith, John 123 Main St Anytown, CA 90001						
COVERAGES		CERTIFICATE NUMBER:		REVISION NUMBER:		
<p>THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.</p>						
INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		XYZ1234	6/4/2016	6/6/2016	EACH OCCURRENCE \$ 500,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 5,000 MED EXP (Any one person) \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ 100,000 BODILY INJURY (Per accident) \$ 250,000 PROPERTY DAMAGE (Per accident) \$ 100,000
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
	Rented/Leased Equipment					Limit: \$50,000 Deductible: \$500 Example limit and deductible
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)						
CERTIFICATE HOLDER			CANCELLATION			
Certificate Holder Golden Rain Foundation of Laguna Woods Village Management Services Inc. Third Laguna Hills Mutual United Laguna Woods Mutual P.O. Box 2220 Laguna Hills, CA 92654			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Sign here			

- 1 Producer**
Your insurance agent; please contact your insurance carrier to have a document produced for you
- 2 Insured**
Your name and address
- 3 Insurance Carrier**
- 4 Policy Number**
- 5 Effective Dates**
- 6 Liability Insurance Limits**
Limits (maximum coverage) purchased for each coverage
General liability: \$500,000/\$1,000,000
Auto (personal vehicle): \$250,000/\$500,000
Auto (commercial vehicle): \$500,000/\$1,000,000
- 7 Workers' Compensation**
Workers' compensation and employment liability: \$500,000/\$500,000.
For exceptions to workers' comp requirements, provide statement of no employees on company letterhead.
- 8 Certificate Holder**
Golden Rain Foundation of Laguna Woods Village Management Services Inc.
Third Laguna Hills Mutual
United Laguna Woods Mutual
P.O. Box 2220
Laguna Hills, CA 92654

What is a certificate of insurance?

A certificate of insurance (COI) is issued by an insurance company or broker and verifies the existence of an insurance policy.

What is a "certificate holder?"

A certificate holder is someone who takes receipt or evidence of the COI. The certificate holder is the party to which the COI is provided.

Contact Manor Alterations

8 a.m. to 5 p.m., Monday through Friday • 949-597-4616 • alterations@vmsinc.org
 lagunawoodsvillage.com/residents/resident-services#manor-alterations



Laguna Woods Village®

ADDITIONAL INFORMATION

For additional information including alteration guidelines, visit the Laguna Woods website at www.lagunawoodsvillage.com. Select the "Residents" Purple Tab. A dropdown menu will appear. Select Manor Alterations under the Services heading.



Login Contact Us

Search...

- Amenities ▾
- Neighborhoods ▾
- Residents ▾**
- News ▾
- Calendars ▾
- Clubs ▾
- Documents ▾
- How Do I? ⓘ

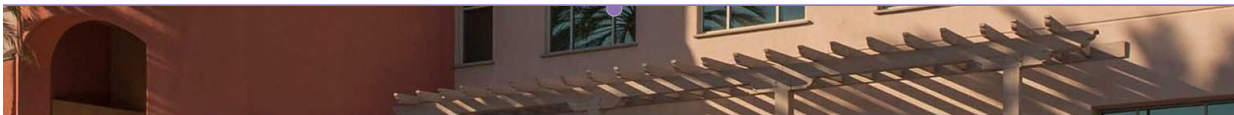
- Residents Home**
- All Boards

Governance

- Golden Rain Foundation
- Third Laguna Hills Mutual
- United Laguna Woods Mutual
- The Towers Mutual 50
- Village Management Services
- Board Meeting Videos

Services

- Cable Television
- Internet Services
- Manor Alterations**
- Resident Services
- Social Services
- Vehicles & Decals
- Financial Services
- Maintenance & Landscaping
- Reservations
- Security Services
- Transportation Services
- Village TV (TV6)



Home / Residents / Resident Services

At Your Service

This page will provide you with informational resources such as Alteration Standards, Alteration Fee Schedule, contractor information, and contact information for the Manor Alterations division.

Manor Alterations

If you are hiring a contractor to work on your manor, you are responsible for ensuring they follow community rules. For questions, call Manor Alterations in Resident Services at [949-597-4616](tel:949-597-4616) or email alterations@vmsinc.org.

Mutual consent application status: [Click here to review the status report.](#)

Your contractor may perform work only during the following designated times:

- Monday through Friday from 7 a.m. to 5 p.m. (only quiet work permitted from 7 a.m. to 8 a.m.)
- Saturdays from 9 a.m. to 3 p.m.
- No work is permitted on Sundays and [VMS observed holidays](#).

To access the Village, contractors must obtain an alterations contractor pass, which is issued with a mutual consent. Contractors are prohibited from parking in visitor parking and must use street parking.

Your contractor is your responsibility. Please ensure the contractor follows the [construction waste rules](#). If your contractor does not abide by the rules your mutual has set, you may be held responsible. Consequences may include a hearing before the board and fines.

- | | | |
|--|--|---|
| Application Status | Third Alterations Guidelines | United Alterations Guidelines |
| Mutual Consent Process Map | Third Alterations Standards | United Alterations Standards |
| Alteration Fee Schedule | Third Alteration Documents | United Alteration Documents |
| Construction Waste Rules | Third Demolition Documents | United Demolition Documents |
| Manor Alterations News Bulletins | FAQs | United Permitted Alteration |



Laguna Woods Village®

MEMBER NOTICE

ASBESTOS AND LEAD HAZARDOUS MATERIALS

All homes in Laguna Woods Village were constructed in the 1960s and 1970s. At that time, asbestos and lead-containing materials met local codes as well as state and federal regulations. These materials, known to be hazardous, were used extensively throughout many building products.

Asbestos Containing Materials include but are not limited to:

- Ceiling tile
- Floor tile/linoleum and mastic
- Textured wall surfaces
- Stucco & Tex-coat
- Cove Base Mastic
- Transite Panels behind bathroom shower walls
- Sprayed acoustical ceilings & attic overspray
- Fire doors
- Structural fireproofing
- Pipe/boiler insulation
- Attic insulation
- Heating duct material/insulation

Lead Containing Materials include:

- Lead Based Paint
- Lead containing ceramic tiles

Disturbing these hazardous materials without proper safeguards can be hazardous to your individual health, the worker's health and the environment.

Prior to any disturbance of such suspect materials, it is required that they first be tested and categorized by CA-State Certified Asbestos/Lead consultants. Based on such determination based on the levels of lead and asbestos content, the proposed renovation activities may have to be assigned to a contractor specifically licensed for asbestos/lead work in compliance with federal, state and local laws, codes and regulations. Work performed without providing the required documentation may result in exposure, costly cleanup process, legal liability, fines & penalties to the member. Violators also may be reported to CAL-OSHA and EPA/AQMD.

There are major legal consequences and fines set forth by city, state and federal regulations in addition to the legal liability concerning the health effects on contractors and workers conducting the work.

Mutual members and their contractors are required to abide by all applicable federal, state and local laws, ordinances, codes and regulations relating to disturbance, removal, transportation and disposal of asbestos and lead containing materials in their homes, in addition to any requirements set forth by the member's Mutual. Members must check with the Manor Alterations Division at Laguna Woods Village prior to performing any upgrades or renovations to the unit.

